

Planning Commission Meeting Agenda



March 5, 2026

6:00 PM

City of Turlock Yosemite Room
156 S. Broadway, Turlock, California

Commission Chair
Constance Anderson

Commission Members

Planning Manager
Katie Quintero

Patrick Jensen
Matthew Davis
Sukhminder Deol
(Vice Chair)

Ray Souza
Bryan Saint
Jim Reape
Bryan Tribble
(Alternate)

NOTICE REGARDING NON-ENGLISH SPEAKERS: The Turlock Planning Commission meetings are conducted in English and translation to other languages is not provided. Please make arrangements for an interpreter if necessary.

EQUAL ACCESS POLICY: If you have a disability which affects your access to public facilities or services, please contact the Planning Division at (209) 668-5640. The City is committed to taking all reasonable measures to provide access to its facilities and services. Please allow sufficient time for the City to process and respond to your request.

NOTICE: Pursuant to California Government Code Section 54954.3, any member of the public may directly address the Planning Commission on any item appearing on the agenda, including Consent Calendar and Public Hearing items, before or during the Planning Commission's consideration of the item. Members of the public will be allowed three (3) minutes for comments.

AGENDA PACKETS: Prior to the Planning Commission meeting, a complete Agenda Packet is available for review on the City's website at www.cityofturlock.org and in the Planning Office at 156 S. Broadway, Suite 120, Turlock, during normal business hours. Materials related to an item on this Agenda submitted to the Commission after distribution of the Agenda Packet are also available for public inspection in the Planning Division Office. Such documents may be available on the City's website subject to staff's ability to post the documents before the meeting.

1. **CALL TO ORDER**
2. **SALUTE TO THE FLAG**
3. **ROLL CALL, DECLARATION OF CONFLICTS OF INTEREST, AND DISCLOSURE OF EX PARTE COMMUNICATIONS**
4. **ANNOUNCEMENTS AND UPDATES**
5. **PUBLIC PARTICIPATION**

This is the time set aside for members of the public to directly address the Planning Commission on any item of interest to the public that is within the subject matter jurisdiction of the Planning Commission and to address the Commission on any item on tonight's agenda, including Consent Calendar items. You will be allowed three (3) minutes for your comments. If you wish to speak

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regarding an item on the agenda, you may be asked to defer your remarks until the Commission addresses the matter. Pursuant to California Government Code Section 54954.2(a)(3), no action or discussion may be undertaken on any item not appearing on the posted agenda, except that the Planning Commission, or its staff, may briefly respond to comments or questions from members of the public, provide a reference to staff or other resources for factual information, or direct staff to place the issue on a future agenda.

6. CONSENT CALENDAR

Information concerning the consent items listed herein below has been forwarded to each Commissioner prior to this meeting for study. Unless the Chair, a Commissioner or member of the audience has questions concerning the Consent Calendar, the items are approved at one time by the Commission. The action taken by the Commission in approving the consent items is set forth in the explanation of the individual items.

- A. Motion: Accepting the Minutes of the February 5, 2026 Regular Meeting
- B. Motion: Waiving Reading of Title and Text of All Ordinances Included in the Agenda

7. PUBLIC HEARINGS

- A. Amendment to Conditional Use Permit 2016-08 (1350 W. Main Street - Get Air Trampoline Park): The applicant is requesting approval for a 6,935 square foot expansion to the existing 12,102 square foot Get Air Trampoline Park located at 1350 W. Main Street (Stanislaus County APN 050-001-034). The additional 6,935 square foot area would be added to the space by removing the wall between the existing Get Air suite and the existing vacant, 12,000 square foot adjacent suite located at 1340 West Main Street. The expansion area would consist of approximately 2,320 square feet of party area and the remaining area is proposed to accommodate new play equipment.

8. SCHEDULED MATTERS

A. STANISLAUS COUNTY REFERRALS

This section allows staff to update the Commission on proposed projects in the unincorporated area within or surrounding the City of Turlock. These items are presented for information only. No action will be taken on these items. Members of the public interested in these projects should contact the County Planning and Community Development Department at (209) 525-6330 to obtain information or provide comments.

9. COMMISSIONER'S COMMENTS AND ANNOUNCEMENTS

Commissioners may provide a brief report on notable topics of interest. The Brown Act does not allow discussions or action by the Commission.

10. ADJOURNMENT

--APPEAL--

Anyone who is dissatisfied with the action(s) of the Planning Commission may file an appeal within **TEN**

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(10) DAYS following the decision of the Planning Commission. The appeal must be written and filed with the Turlock City Clerk. Appeal Application Forms are available in both the City Clerk and Planning Division Offices, 156 South Broadway, Turlock. There is a \$550.00 filing fee for the Appeal Application. If an Appeal Application is filed, a Public Hearing will be scheduled by the City Council to consider the appeal.

**--CONTINUANCE--
-- APPLICANT REQUESTS--
-- EFFECTIVE NOVEMBER 27, 1989--**

An applicant may request the continuance of a pending application or scheduled matter set for consideration by the Planning Commission by filing a request for a continuance not less than three (3) hours prior to the scheduled consideration of the application pursuant to City Council Resolution No. 89-248. The request must be written and filed with the City of Turlock Planning Division. Continuance Request Application Forms are available in both the City Clerk and Planning Division Offices, 156 South Broadway, Turlock. There is a \$390.00 Filing Fee Deposit for the Continuance Request Application.

The granting of a request for a continuance of a pending application is discretionary on the part of the City of Turlock. The applicant's compliance with the regulations does not imply, guarantee, or otherwise supersede the City of Turlock's authority to deny the request.

6.A

Thursday, February 5, 2026
6:00 p.m.
City of Turlock Yosemite Room
156 S. Broadway, Turlock, California

DRAFT-MINUTES
Regular Meeting
Turlock Planning Commission

1. CALL TO ORDER

Chair Anderson called the meeting to order at 6:00 p.m.

2. SALUTE TO THE FLAG

Chair Anderson led those in attendance in the Pledge of Allegiance.

3. ROLL CALL, DECLARATION OF CONFLICTS OF INTEREST & DISCLOSURE OF EX PARTE COMMUNICATIONS

Present: Commissioners Ray Souza, Matthew Davis, Constance Anderson, Jim Reape, Sukhminder Deol, Bryan Saint, Bryan Tribble

Absent: None

Commissioner Tribble	Commissioner Souza	Commissioner Davis	Commissioner Reape	Commissioner Deol	Commissioner Saint	Chair Anderson
None	None	None	None	None	None	None

4. ANNOUNCEMENTS & UPDATES

Planning Manager Katie Quintero introduced Teddie Hernandez, Principal Planner, and announced that the new Assistant Planner will be starting on February 17 and will attend the March meeting.

She also announced that there is currently a vacancy on the Planning Commission. Anyone interested in applying, or who knows someone who may be interested, can contact the City Clerk’s Office.

5. PUBLIC PARTICIPATION

Chair Anderson opened the floor for public participation.

Milt Trieweller spoke about preserving prime farmland.

Hearing no one else, Chair Anderson closed the floor for public participation.

6. CONSENT CALENDAR

- A. Motion: Accepting the Minutes of the January 15, 2026 Special Meeting
- B. Motion: Waiving Reading of All Ordinances of the Agenda, Except by Title

Motion:

Commissioner Reape moved, seconded by Commissioner Tribble to approve the consent calendar. Motion carried 7/0 by the following vote:

Commissioner Tribble	Commissioner Souza	Commissioner Davis	Commissioner Reape	Commissioner Deol	Commissioner Saint	Chair Anderson
Yes	Yes	Yes	Yes	Yes	Yes	Yes

7. PUBLIC HEARINGS

Chair Anderson noted there were two items.

- A. Ordinance Amendment 2026-01 (OA 2026-01):** City Attorney George Petrulakis presented the staff report. He explained that the amendments address several different code topics and are intended to modernize various provisions, improve internal consistency, clarify standards and procedures, and reflect the first update arising from the City’s Housing Element process.

Commissioner Souza asked if the amendments would address the abandoned signs issue that he has raised at prior meetings.

City Attorney Petrulakis said the amendments would not affect signage as those regulations are addressed in a different municipal code section.

Public Participation

Chair Anderson opened the floor for public hearing.

Milt Trieweiler asked what impact the amendments may have on home-based businesses and homeschooling operators

City Attorney Petrulakis answered that the amendments were not reviewed from that perspective and clarified that due to state law, the only use affected is in-home day care. He explained that the provisions related to nonconforming uses and Conditional Use Permits are mostly cleanup and clarification.

Planning Manager Quintero said that there is a permitting process for home-based businesses and noted that the proposed amendments do not affect those uses. She

explained that the amendments primarily apply to residentially zoned properties being used solely for commercial operations without a residential component.

Hearing no one else, Chair Anderson closed the floor for public participation.

Motion:

Commissioner Reape moved, seconded by Commissioner Davis to approve recommending the City Council approve Ordinance Amendment 2026-01 (Amendments to the Turlock Municipal Code Related to Family Day Care Home, Nonconforming Structures and Uses, and Administration Governing Permits and Certificates) having determined that the appropriate findings can be made, as conditioned in draft Planning Commission Resolution No. 2026-02. Motion carried by a 7/0 vote.

Commissioner Tribble	Commissioner Souza	Commissioner Davis	Commissioner Reape	Commissioner Deol	Commissioner Saint	Chair Anderson
Yes	Yes	Yes	Yes	Yes	Yes	Yes

B. Ordinance Amendment 2026-02 (OA 2026-02): City Attorney George Petrulakis presented the staff report and explained that the proposed Zoning Text Amendment would establish zoning regulations for smoke shops that primarily sell cigarette and nicotine products. He noted that the City Council declared a moratorium on January 13, initially for 45 days to allow staff to evaluate the issue. He stated that the Planning Commission would review amendments to Title 9 (Land Use) only and not Title 5. He further explained that staff would recommend extending the moratorium to one year, inclusive of the initial 45 days, and that the amendment would clearly define smoke shops and identify where they may operate.

Commissioner Reape asked how smoke shop is defined and if the definition was based on another city's ordinance.

City Attorney Petrulakis responded that the City of Modesto was consulted due to its recent moratorium and stated that staff would ensure the square-footage and linear-footage standards are appropriate.

Commissioner Tribble asked how many violations would be allowed before a permit could be revoked.

City Attorney Petrulakis said that staff is recommending not using a Conditional Use Permit and instead utilizing a Smoke Shop Permit outside of the land use context. He explained that enforcement would occur under Title 5, including due process requirements such as notice, hearing, and appeal rights, and that enforcement would likely occur through the administrative citation process.

Chair Anderson asked how many smoke shops currently operate and how many may be out of compliance with zoning requirements.

Planning Manager Quintero said that staff would verify that information, noting that distance requirements had not yet been reviewed and that at least one location in the CO zone would likely be considered a legal nonconforming use.

Public Participation

Chair Anderson opened the floor for public hearing.

Hearing no one, Chair Anderson closed the floor for public participation.

Commissioner Davis commented about one shop that is painted and advertised in a similar fashion as cannabis dispensary.

Motion:

Commissioner Reape moved, seconded by Commissioner Tribble to approve recommending the City Council approve Ordinance Amendment 2026-02 (Amendments to the Turlock Municipal Code Related Smoke Shops) having determined that the appropriate findings can be made, as conditioned in draft Planning Commission Resolution No. 2026-03. Motion carried by a 7/0 vote.

Commissioner Tribble	Commissioner Souza	Commissioner Davis	Commissioner Reape	Commissioner Deol	Commissioner Saint	Chair Anderson
Yes	Yes	Yes	Yes	Yes	Yes	Yes

8. SCHEDULED MATTERS

There were none.

9. COMMISSIONER’S COMMENTS AND ANNOUNCEMENTS

Commissioners may provide a brief report on notable topics of interest. The Brown Act does not allow discussion or action by the Commission.

Chair Anderson asked Principal Planner Teddie Hernandez to introduce herself.

Principal Planner Teddie Hernandez said that she has seven years of planning experience and previously worked for San Joaquin County and the City of Ceres. She expressed that she is excited to be working with the City of Turlock.

10. ADJOURNMENT

Having no further business, Chair Anderson asked for a motion to adjourn the meeting. Motion by Commissioner Reape. Motion carried unanimously by a voice vote. The meeting was adjourned at 6:36 p.m.

RESPECTFULLY SUBMITTED

Constance Anderson
Planning Commission Chair

Katie Quintero
Planning Manager

Planning Commission Staff Report
March 5, 2026



From: Katie Quintero, Planning Manager
Prepared by: Katie Quintero, Planning Manager
Agendized by: Adrienne Werner, Development Services Director

1. ACTION RECOMMENDED:

RECOMMENDED MOTION

Granting the Amendment to Conditional Use Permit 2016-08

I move that the Planning Commission grant the amendment to Conditional Use Permit 2016-08 (Get Air Trampoline Park Expansion), having determined that the project is “Categorically Exempt” from the provisions of CEQA, and that all of the appropriate findings can be made, subject to the conditions of approval contained in draft Planning Commission Resolution No. 2026-04.

2. NARRATIVE:

APPLICATION SUMMARY

DATE FILED: December 19, 2025

- 1. APPLICANT:** Allison Development Inc./John Allison
4046 Aitken Dairy Road
Rocklin, CA 95677
- 2. OWNER(S):** Main Street Turlock LLC
3026 Indian Springs Road
Paradise, CA 95969
- 3. LOCATION OF PROPERTY:** 1350 West Main Street and a portion of
1340 West Main Street
- 4. APN:** 050-001-034
- 5. AREA OF PROPERTY:** 7.35 acres (approximately)
- 6. EXISTING ZONING:** Community Commercial (CC)
- 7. GENERAL PLAN:** Community Commercial (CC)
- 8. PREVIOUS ACTIONS:** GPA 00-04, PD 264, VAR 90-09, CUP 03-12,
MDP 07-07, 11-02, 14-08, MAA 14-05
- 9. REQUEST:** To authorize a 6,935 square foot expansion
of Get Air Trampoline Park in an existing
commercial center.

10. CEQA RECOMMENDATION: EXEMPT

PROJECT DESCRIPTION

The applicant is requesting approval for a 6,935 square foot expansion to the existing 12,102 square foot Get Air Trampoline Park located at 1350 W. Main Street (Stanislaus County APN 050-001-034). The additional 6,935 square foot area would be added to the space by removing the wall between the existing Get Air suite and the existing vacant, 12,000 square foot adjacent suite located at 1340 West Main Street. The expansion area would consist of approximately 2,320 square feet of party area and the remaining area is proposed to accommodate new play equipment.

BACKGROUND AND PROJECT SETTING

In August 2009, Planned Development 264 was approved to integrate three properties, 1200 W. Main Street, 1300 W. Main Street, and 1400 W. Main Street into a cohesive commercial center and also authorize an event center on the 1400 W. Main Street property. The project did not move forward and the Planned Development has since expired. With the expiration of the Planned Development, the zoning for the three properties returned to the underlying Community Commercial (CC) zoning and General Plan land use designation.

In 2011, the grocery store, Mi Pueblo was approved to operate in a tenant space totaling approximately 37,000 square feet; however, Mi Pueblo never opened. Grocery Outlet moved into a portion of the space.

In 2016, the Planning Commission granted Conditional Use Permit 2016-08 authorizing Get Air Trampoline Park to occupy approximately 12,102 square feet of the 104,000-square foot commercial building. Get Air Trampoline Park was approved to operate a trampoline park in the 12,102 square foot suite in the existing commercial/retail center at 1350 W. Main Street.

The trampoline park has trampoline areas where guests can play dodge ball, basketball, rock climb, maneuver through obstacle courses, and jump on various trampolines. Party services are also available at Get Air, where guests have a designated area where they can have food and beverages before going out to jump.

PROJECT EVALUATION

The project is proposed in an existing shopping center located in the Community Commercial (CC) zoning district. The Community Commercial zoning district provides for a full range of retail, personal services, restaurants, commercial recreation, and business and financial service uses. An indoor trampoline park is classified as a commercial recreation use. In the Community Commercial zoning district, commercial recreation uses require a Conditional Use Permit (CUP) and therefore, to expand the use, an amendment to the original CUP is required to ensure the expansion of the use can meet the findings of the CUP.

The Turlock Municipal Code (TMC) states that the purpose of the CUP is to evaluate the *“site features, operating characteristics, and design of the proposed use to ensure compatibility with other uses in the general area.”*

Turlock Municipal Code [§ 9-5-604 Conditional use permits: Granting](#), provided below, contains the findings the Planning Commission must use in considering the application.

All actions of the Planning Commission relating to findings and recommendations shall be in

accordance with the provisions of this article. The Planning Commission shall authorize the granting of the conditional use permit if it finds as follows:

(a) That the site for the proposed use is adequate in size and shape to accommodate such uses, all yards, open spaces, wall, fences, parking, loading, landscaping, and other features required by the Municipal Code or the Planning Commission to make sure such use is compatible with the land and uses in the vicinity;

(b) That the site for the proposed use is related properly to streets and highways to carry the quantity and kind of traffic generated by the proposed use;

(c) That the proposed use will not adversely affect the abutting property or the permitted use thereof with the provisions of conditions; and

(d) That the site for the proposed use is in conformance with the General Plan.

The proposed use is consistent with the types of commercial uses anticipated in the Community Commercial zoning district. The area Get Air is proposing to expand into was previously used by Adrian's Beauty College. Therefore, the difference in the parking demand between the uses is not significantly different and can be accommodated within the existing parking in the shopping center. Per the Municipal Code, Get Air as a recreational use would require 1 parking space per 100 square feet of gross floor area and the previous classroom use required 1 parking space per 200 square feet of gross floor area, requiring a difference of 35 additional parking spaces for the Get Air expansion. There are approximately 426 parking spaces in the shopping center which contains a mix of uses that have varying times of peak parking demand, allowing for sharing of parking between uses. Therefore, this expansion will not have an impact on the parking available for the shopping center.

The proposed improvements to the space will open walls to the existing Get Air area and will add walls to close off the newly opened areas from the existing suite. The location of the new walls will add the existing bathrooms for suite 1340 to the existing Get Air space and will leave the 1340 suite without bathrooms. Tenant improvements will have to be done to the area left in 1340 to add restrooms and install any other improvements required by the Building Code before any tenants can occupy this area. At this time, there is no proposed tenant for this suite.

PUBLIC NOTICE

A public notice sign was posted on the property explaining the proposed project and public notices were sent out to property owners within a 500-foot radius from the proposed project and no public comments were received.

CONCLUSION

The current uses in the commercial center range from office uses to health/recreation uses. Staff believes that the proposed Get Air trampoline park expansion is a suitable use in the commercial center and will not create any impacts to the center. Therefore, staff recommends that the Planning Commission approve the amendment to Conditional Use Permit 2016-08 (Get Air Trampoline Park Expansion).

RECOMMENDED MOTION

Granting the Amendment to Conditional Use Permit 2016-08

I move that the Planning Commission grant the amendment to Conditional Use Permit 2016-08 (Get Air Trampoline Park Expansion), having determined that the project is “Categorically Exempt” from the provisions of CEQA, and that all of the appropriate findings can be made, subject to the conditions of approval contained in draft Planning Commission Resolution No. 2026-04.

3. FISCAL IMPACT / BUDGET AMENDMENT:

None, the cost of processing this application was paid for by the application through application fees.

4. ENVIRONMENTAL DETERMINATION:

The project consists of a 6,935 square foot expansion of an existing 12,102 square foot Get Air trampoline park into a portion of the adjacent, existing 12,000 square foot vacant space previously used as a beauty college. These types of commercial recreation and entertainment activities are anticipated in the commercial zoning districts and is consistent with the traffic generation associated with the previous use as well as other commercial uses anticipated in this zoning district.

The project will result in the minor alteration of the interior of the existing building to accommodate the proposed use. No other changes in the site are anticipated as a result of the project; therefore, the project is categorically exempt pursuant to Section 15301(a) (Existing Facilities) of the CEQA Guidelines.

5. ATTACHMENTS:

1. Attachment 1 Site Plan and Floor Plan
2. Exhibit A Resolution CUP 2016-08 Amendment

A TENANT ALTERATION FOR: GET AIR TRAMPOLINE PARK

1350 W MAIN STREET,
TURLOCK, CA 95380

VICINITY MAP



SCOPE OF WORK

TENANT IMPROVEMENT TO EXPAND EXISTING SUITE 1350, GET AIR TRAMPOLINE PARK, INTO A PORTION OF THE ADJACENT VACANT SPACE (SUITE 1340) WITHIN THE EXISTING BUILDING SHELL, CONSISTING OF DEMOLITION AND CONSTRUCTION OF NON-BEARING PARTITIONS, NEW LIGHTING, NEW HVAC GRILLES, NEW OUTLETS, RESTROOMS, EQUIPMENT ACCESS PLATFORM AND NEW FINISHES. THE EXISTING MECHANICAL, PLUMBING, ELECTRICAL AND FIRE SPRINKLER ARE MODIFIED AS NEEDED TO ACCOMMODATE NEW LAYOUT.

NO CHANGE IN USE OR OCCUPANCY. NO NEW WORK IS PROPOSED UNDER THIS PERMIT FOR THE REMAINING SPACE OF EXISTING SUITE 1340, WHICH WILL REMAIN VACANT.

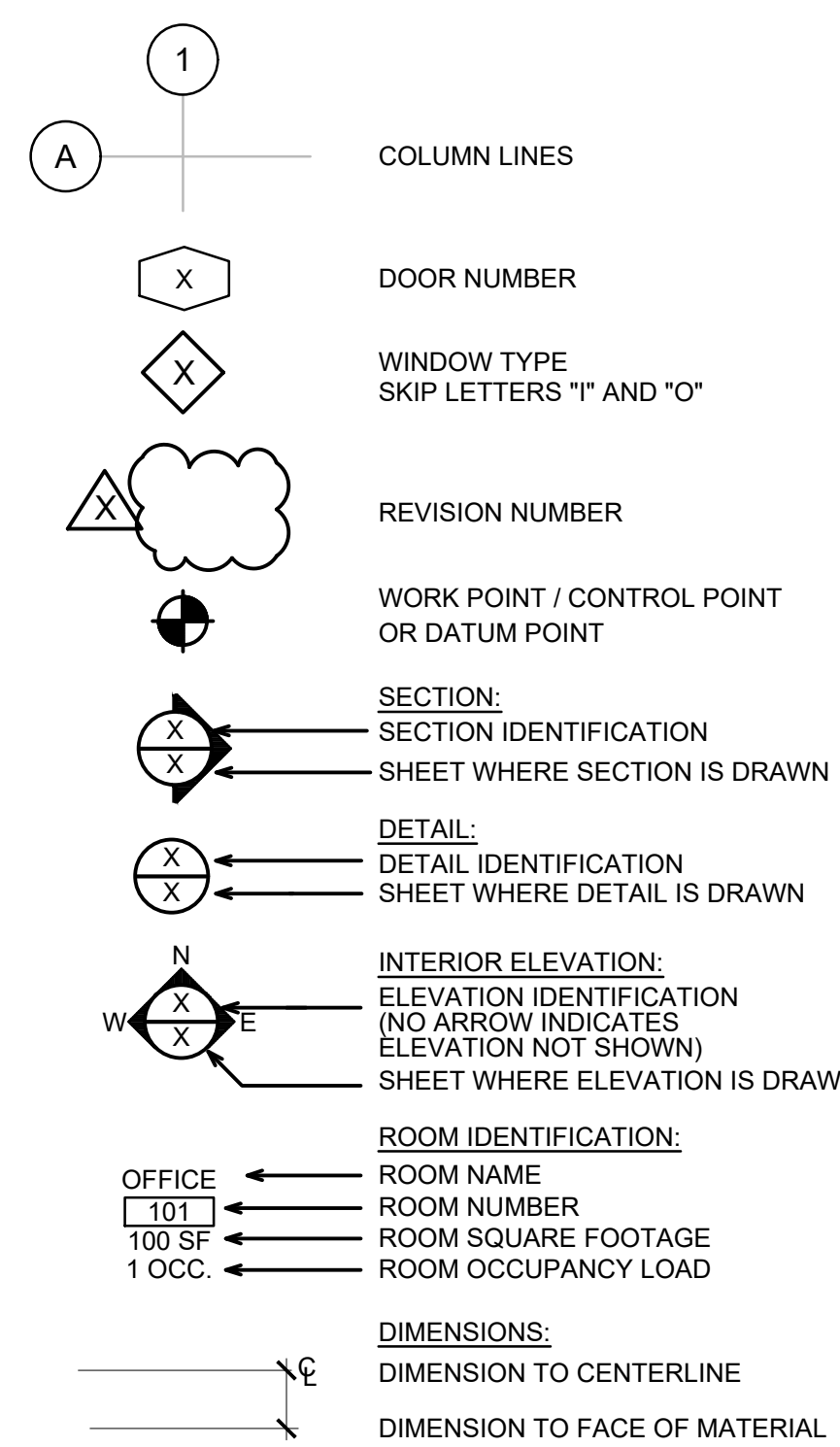
PROJECT INFORMATION

CONSTRUCTION TYPE:	III-B
OCCUPANCY GROUP:	A-3
DESCRIPTION OF USE:	ASSEMBLY - TRAMPOLINE PARK
BUILDING AREA (PER SHELL DOCUMENTS):	±103,950 SF
EXISTING TENANT SPACE - 1350:	±12,102 SF
TENANT EXPANSION SPACE - 1340:	±6,935 SF
AREA OF WORK/NEW 1350 SPACE TOTAL:	±19,037 SF
NO. OF STORIES:	1
AREA INCREASE:	NO
HEIGHT INCREASE:	NO
SPRINKLERED:	YES, AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE BUILDING WITH NFPA 13 STANDARD.
FIRE ALARM:	YES
OTHER FIRE PROTECTION SYSTEM:	NO
TOTAL OCCUPANCY LOAD:	SEE SHEET G-101 FOR BREAKDOWN

ABBREVIATIONS

ACOUS.	ACOUSTICAL	INSUL.	INSULATION
ADJ.	ADJACENT	INT.	INTERIOR
A.F.F.	ABOVE FINISHED FLOOR	JAN.	JANITOR
AHJ	AUTHORITY HAVING JURISDICTION	LAV.	LAVATORY
ALUM.	ALUMINUM	LV.	LOW VOLTAGE
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
BD.	BOARD	MECH.	MECHANICAL
BLDG.	BUILDING	MFR.	MANUFACTURER
BLKG.	BLOCKING	MIN.	MINIMUM
B.O.	BOTTOM OF	MISC.	MISCELLANEOUS
CAB.	CABINET	MTD.	MOUNTED
CJ.	CONTROL JOINT	MTL.	MATERIAL
CLG.	CEILING	(N)	NEW
CLR.	CLEAR	N	NORTH
CMU	CONCRETE MASONRY UNIT	N/A	NOT APPLICABLE
CNTR.	COUNTER	N.I.C.	NOT IN CONTRACT
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	O/	OVER
CONST.	CONSTRUCTION	O.C.	ON CENTER
CORR.	CORRIDOR	O.D.	OUTSIDE DIAMETER
DBL.	DOUBLE	OPNG.	OPENING
DEPT.	DEPARTMENT	P.LAM.	PLASTIC LAMINATE
D.F.	DRINKING FOUNTAIN	PLUMB.	PLUMBING
DIA.	DIAMETER	PLYWD.	PLYWOOD
DIAG.	DIAGONAL	(R)	RELOCATED
DIM.	DIMENSION	REQD.	REQUIRED
DN.	DOWN	RM.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
(E)	EXISTING	S.	SOUTH
E.	EAST	S.C.	SOLID CORE
EA.	EACH	SCHED.	SCHEDULED
ELEC.	ELECTRICAL	SECT.	SECTION
ELEV.	ELEVATOR	SIM.	SIMILAR
ENCL.	ENCLOSURE	SPEC.	SPECIFICATION
EP.	ELECTRICAL PANEL	S.S.	STAINLESS STEEL
EQ.	EQUAL	STL.	STEEL
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
FE.	FIRE EXTINGUISHER	SUSP.	SUSPENDED
FEC.	FIRE EXTINGUISHER CABINET	TBD.	TO BE DETERMINED
FIN.	FINISH	T.C.	TOP OF CURB
FLR.	FLOOR	TYP.	TYPICAL
F.O.	FACE OF	U.O.N.	UNLESS OTHERWISE NOTED
F.O.F.	FACE OF FINISH	VCT.	VINYL COMPOSITE TILE
F.O.G.	FACE OF GLASS	VERT.	VERTICAL
F.O.M.	FACE OF MULLION	VEST.	VESTIBULE
F.O.S.	FACE OF STUD	V.I.F.	VERIFY IN FIELD
GA.	GAUGE	W.	WEST
GALV.	GALVANIZED	W/	WITH
G.C.	GENERAL CONTRACTOR	W/O	WITHOUT
GYP.	GYPSPUM	W.C.	WATER CLOSET
HDWR.	HARDWARE	WD.	WOOD
HORIZ.	HORIZONTAL	WDW.	WINDOW
HT.	HEIGHT	WH	WATER HEATER

SYMBOL LEGEND



CONTACTS

ARCHITECT

SKYBLUE DESIGN STUDIO, INC.
CONTACT: JOSUE DIAZ
915 HIGHLAND POINTE DR. SUITE 250
ROSEVILLE, CA 95678
TEL: (916) 724-5295

GENERAL CONTRACTOR

ALLISON DEVELOPMENT, INC.
CONTACT: JOHN ALLISON
4046 AITKEN DAILY ROAD
ROCKLIN, CA 95678
TEL: (916) 947-7068

MECHANICAL

CAL AIR SYSTEMS
CONTACT: TREVOR HAUN
3987 MISSOURI FLAT ROAD, SUITE 340 #101
PLACERVILLE, CA 95667
(916) 747-4792

PLUMBING

SACRAMENTO ENGINEERING CONSULTANTS
CONTACT: RICKERT HENRICKSEN
10555 OLD PLACERVILLE ROAD
SACRAMENTO, CA 95827
TEL: (916) 368-4468

ELECTRICAL

NORBERG ENGINEERING CO. INC.
CONTACT: WILLIAM NORBERG
P.O. BOX 5090
EL DORADO HILLS, CA 95762
TEL: (916) 996-8322

DRAWINGS INDEX

ARCHITECTURAL

G-001	COVER SHEET
G-101	EGRESS PLAN
G-201	CAL GREEN COMPLIANCE NOTES - SHEET 1 OF 4
G-202	CAL GREEN COMPLIANCE NOTES - SHEET 2 OF 4
G-203	CAL GREEN COMPLIANCE NOTES - SHEET 3 OF 4
G-204	CAL GREEN COMPLIANCE NOTES - SHEET 4 OF 4
A-001	SITE PLAN AND DETAILS
A-101	DEMOLITION PLAN
A-201	FLOOR PLAN
A-202	ENLARGED FLOOR PLANS AND DETAILS
A-401	ENLARGED RESTROOM PLAN AND DETAILS
A-601	REFLECTED CEILING PLAN
A-901	DETAILS

MECHANICAL

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M2.1	MECHANICAL FLOOR PLAN

PLUMBING

P1.1	PLUMBING LEGEND, NOTES AND SCHEDULE
P2.1	PLUMBING FLOOR PLAN - WASTE & VENT
P2.2	PLUMBING FLOOR PLAN - WATER
P3.1	PLUMBING DETAILS
T24.1	DOMESTIC HOT WATER TITLE 24

ELECTRICAL

E1.1	ELECTRICAL SCHEDULES
E1.2	ONE LINE DIAGRAM
E2.1	ELECTRICAL PLAN
E2.2	LIGHTING PLAN
E3.1	TL-24 NRCC-LT-E
E3.2	TL-24 NRCC-ELC-E

DEFERRED SUBMITTALS

- AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE BUILDING WITH NFPA 13 STANDARD IS UNDER DEFERRED SUBMITTAL/APPROVAL.
- FIRE ALARM SYSTEM
- VENDOR EQUIPMENT PLAN
- a) PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATE TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE BUILDING DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS.
- b) DOCUMENTS TO DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A WRITTEN LETTER INDICATING THAT DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
- c) THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL AND/OR FIRE MARSHAL.
- d) THE ABOVE REQUEST DEFERRED ITEMS MUST BE IN PLACED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE GRANTED.

APPLICABLE CODES

2022 CALIFORNIA ADMINISTRATIVE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA REFERENCED STANDARDS CODE

GENERAL NOTES

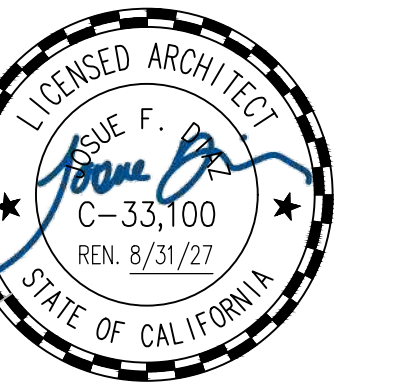
- ALL CONTRACTORS & SUB CONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS AS SPELLED OUT IN THESE DRAWINGS. ALL PARTIES MUST CAREFULLY STUDY ALL NOTES FOR ITEMS WHICH MAY PERTAIN TO THEIR TRADES. FAILURE TO READ THE NOTES DOES NOT PERMIT THE CONTRACTOR TO DEVIATE FROM THEIR REQUIREMENTS.
- CONSTRUCTION DEPICTED IN THESE DRAWINGS & ASSOCIATED SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CODES, WHERE SUCH CODES CONFLICT WITH THESE DRAWINGS, CODE REQUIREMENTS SHALL TAKE PRECEDENCE.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE CONDITIONS DEPICTED OR IMPLIED WITHIN THESE DRAWINGS & ASSOCIATED SPECIFICATIONS. IF ANY DEVIATIONS ARE FOUND ON PROJECT SITE, THE CONTRACTOR SHALL INFORM THE ARCHITECT AND RECEIVE WRITTEN DIRECTION FROM ARCHITECT ON HOW TO PROCEED.
- ALL DETAILS, SCHEDULES AND SPECIFICATIONS BOUND SEPARATELY ARE PART OF THE CONTRACT DOCUMENTS.
- ITEMS MARKED AS "NIC" ARE NOT IN CONTRACT. HOWEVER THESE ITEMS ARE NOTED ON PLANS AS THEY REQUIRE COORDINATION BY THE CONTRACTOR TO COMPLETE PROJECT.
- ITEMS MARKED AS "TYP" OR "TYPICAL" SHALL APPLY IN ALL SIMILAR CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION THAT ARE REQUIRED TO COMPLETE PROJECT IN A SAFE & COMPETENT MANNER, INCLUDING BUT NOT LIMITED TO TEMPORARY BRACING, SHORING, ETC., TO SUPPORT ALL STRUCTURE AND COMPONENTS DURING CONSTRUCTION.
- DIMENSIONS:
 - A) CONTRACTOR SHALL NOT SCALE ANY DIMENSIONS FROM THE DRAWINGS.
 - B) DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS OTHERWISE NOTED.
 - C) CEILING HEIGHT DIMENSION SHALL BE FROM THE FINISHED FLOOR TO FINISHED FACE OF CEILING.
 - D) GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS & CHECK ALL MEASUREMENTS ON JOB & SHALL BE RESPONSIBLE FOR SAME & IF ANY DEVIATIONS ARE FOUND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES IN WRITING.
- WHERE A DOOR OR DOOR OPENING IS NOT LOCATED WITH A DIMENSION ON THE DRAWINGS, THE DOOR SHALL BE CENTERED ON WALL AS SHOWN ON PLAN OR BE LOCATED AT 4" FROM FINISHED WALL TO FINISHED JAMB.
- IF A SPECIFIC DETAIL IS REQUIRED BUT NOT SHOWN ON DRAWING, CONTRACTOR SHALL REQUEST FOR DIRECTION TO ARCHITECT IN WRITING.
- IF EXCAVATION IS REQUIRED, CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATING. ADDITIONALLY, CONTRACTOR SHALL VERIFY LOCATION OF AFFECTED UTILITIES INCLUDING SANITARY SEWER, GRAVITY & FORCE WATER MAINS, GAS & ELECTRIC PRIOR TO EXCAVATION OR CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE SECTIONS OF CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION.
- SITE SAFETY PLAN SHALL BE DEVELOPED AND PLACED ON SITE PRIOR TO CONSTRUCTION. SITE SAFETY PLAN SHALL INCLUDE ALL INFORMATION IN ACCORDANCE WITH CHAPTER 33, SECTION 3303.1.

JURISDICTION STAMPS



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Attachment 1

PROJECT:
GET AIR TRAMPOLINE PARK
1350 W MAIN STREET,
TURLOCK, CA 95380
SHEET TITLE:
COVER SHEET

REVISION	DATE	DESCRIPTION
00/00/00		PRELIMINARY PLANS FOR TENANTS REVIEW
01/28/25		BACKGROUND(S) SENT TO A/D
12/09/25		PERMIT SUBMITTAL SET

JOB NO: 25022
DRAWN BY: MK

SHEET NO.

G-001

WALL LEGEND

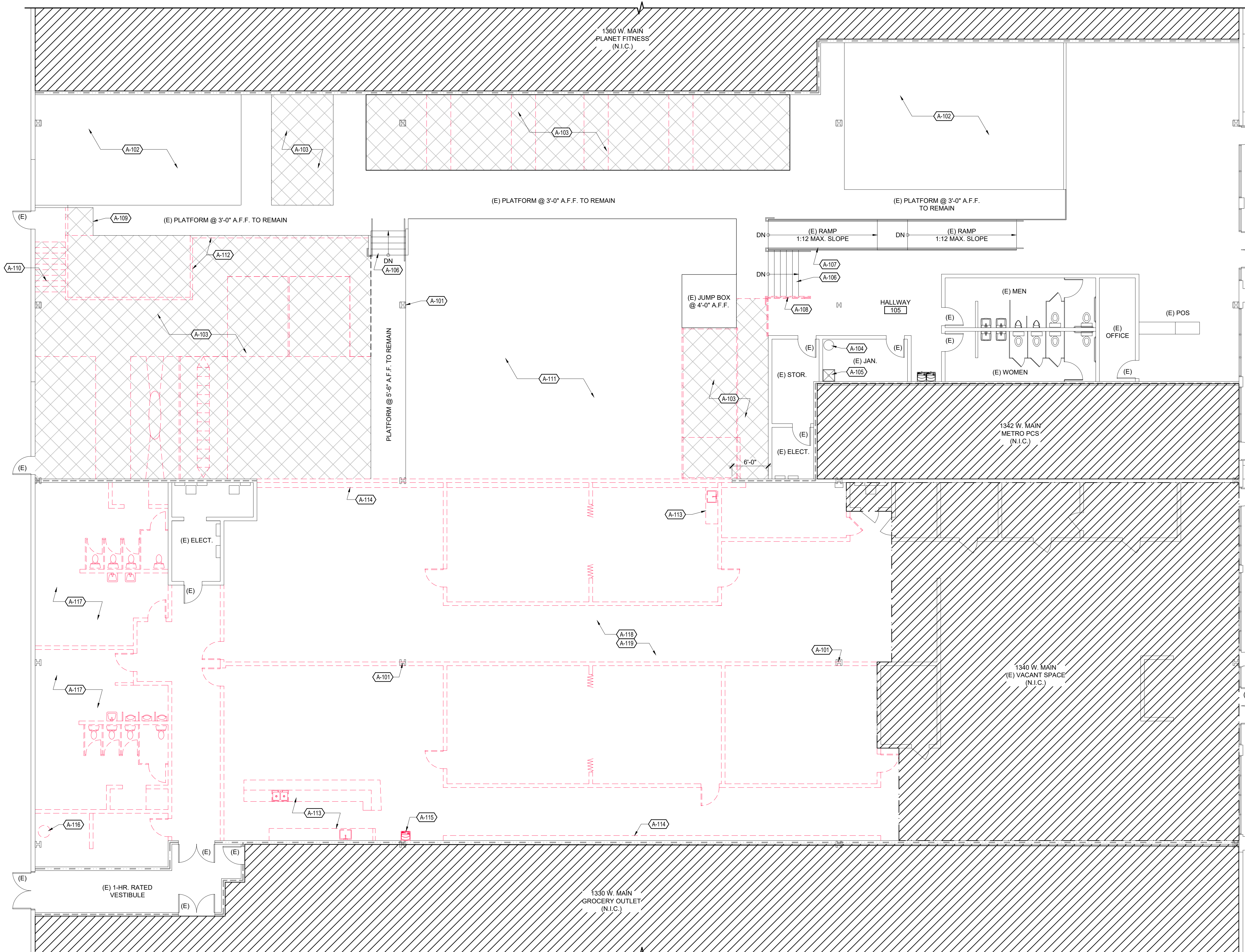
- EXISTING NON-BEARING/NON-SHEAR PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- EXISTING 1-HR RATED PARTITION TO REMAIN
- EXISTING 3-HR RATED PARTITION TO REMAIN

DEMOLITION NOTES

1. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, ENVIRONMENTAL PROTECTION AND RECYCLING ORDINANCES.
2. ALL MATERIALS TO BE SAVED AND REUSED SHALL BE REMOVED IN A WORKMAN LIKE MANNER AS TO NOT DAMAGE OR PREVENT THE REUSE OF SUCH MATERIALS AND STORED AS DESIGNATED BY THE BUILDING OWNER/ENGINEER. ALL MILLWORK AND ATTACHMENTS ARE THE PROPERTY OF THE BUILDING OWNER. VERIFY WITH CONSTRUCTION DOCUMENTS WHAT MATERIALS ARE TO BE SAVED AND / OR REUSED.
3. ALL TRADES SHALL PERFORM THEIR DEMOLITION IN A WORKMAN LIKE MANNER AS TO NOT DAMAGE ANY OF THE EXISTING CONSTRUCTION TO REMAIN.
4. CONTRACTORS TO VISIT SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS TO BE DEMOLISHED.
5. THE FOLLOWING WORK SHALL BE PERFORMED BY THE CONTRACTOR(S) AS APPLICABLE, BUT NOT LIMITED TO:
 - A. REMOVE WALLS AS INDICATED (GYPSUM BOARD AND STUDS)
 - B. REMOVE DOORS, FRAMES AND ASSOCIATED HARDWARE AS INDICATED WITHIN CONSTRUCTION DOCUMENTS.
 - C. REMOVE FLOOR COVERING AND MASTIC THROUGHOUT AREA OF WORK. ALL FLOOR FINISHES TO BE NEW.
 - D. REMOVE MILLWORK THROUGHOUT AREA OF WORK AS INDICATED
 - E. REMOVE THERMOSTATS AND RELOCATE AND/OR REPLACE AS REQUIRED FOR DEMOLITION WORK
 - F. RELOCATE AND/OR REPLACE SUPPLY-AIR REGISTERS AND DUCT WORK TO ACCOMMODATE DEMOLITION WORK
 - G. RELOCATE AND/OR REPLACE RETURN-AIR REGISTERS AND DUCT WORK TO ACCOMMODATE DEMOLITION WORK
 - H. REMOVE ALL METAL CONDUIT IN WALLS AND CEILING AS REQUIRED TO ACCOMMODATE DEMOLITION WORK
 - I. REMOVE AND STORE ALL LIGHT SWITCHES AND ELECTRICAL OUTLETS AS REQUIRED TO ACCOMMODATE DEMOLITION WORK
 - J. REMOVE ALL VOICE/DATA CABLING IN WALL AND ABOVE CEILING AS REQUIRED TO ACCOMMODATE DEMOLITION WORK
6. REMOVE (E) T-BAR CEILING AND TILES AS REQUIRED TO ALLOW FOR NEW WORK.
7. THE DEMOLITION WORK SHALL PROGRESS IN THE FOLLOWING ORDER WHERE APPLICABLE:
 - A. CARPET/FLOORING, MASTIC AND WALL BASE.
 - B. MILLWORK, SINKS AND APPLIANCES
 - C. DOORS, FRAMES AND HARDWARE
 - D. T-BAR CEILING GRID AND TILES OR HARDLIDS
 - E. ELECTRICAL SWITCHES AND OUTLETS
 - F. WALLS AND ELECTRICAL CONDUITS
 - G. PLUMBING AND MECHANICAL
 - H. FINAL CLEAN-UP
8. ALL CONTRACTORS OF THE DEMOLITION WORK SHALL REMOVE THE DEBRIS CAUSED BY THEIR SCOPE OF WORK.
9. THE JOB SITE IS TO BE FREE OF ALL DEMOLITION DEBRIS PRIOR TO THE START OF NEW CONSTRUCTION.
10. ALL TRADES ARE RESPONSIBLE TO MAINTAIN A CLEAN ENVIRONMENT, FREE OF DEMOLITION DUST AND DEBRIS, (INTERIOR AND EXTERIOR)
11. CONTRACTOR TO PROVIDE ALL PERMITS, TRASH CHUTES, AND DUMPSTERS AS REQUIRED TO ACCOMMODATE ENTIRE SCOPE OF DEMOLITION AND NEW CONSTRUCTION WORK.
12. USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION PRACTICABLE FOR THE CONDITION OF WORK. COMPLY WITH ALL GOVERNING REGULATIONS.
13. RESTORE ALL DISTURBED BY DEMOLITION TO ORIGINAL CONDITION. PATCH SURFACES VISIBLE AFTER DEMOLITION TO MATCH ADJACENT FINISH CONDITIONS.

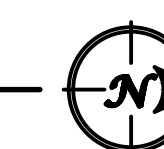
KEY NOTES

- (A-101) (E) STRUCT. COLUMNS AND ANY AVAILABLE POWER CIRCUITS ON THE COLUMNS TO REMAIN, TYP. THROUGHOUT AREA OF WORK.
- (A-102) (E) VENDOR EQUIPMENT (DODGE BALL & LITTLE AIR) TO REMAIN
- (A-103) (E) VENDOR EQUIPMENT AND DECK TO BE REMOVED TO ACCOMMODATE NEW EQUIPMENT, TYP. SHOWN IN RED DASHED AND CROSS-HATCHED
- (A-104) (E) WATER HEATER TO REMAIN. SEE PLUMB. DWG'S.
- (A-105) (E) MOP SINK TO REMAIN. SEE PLUMB. DWG'S.
- (A-106) (E) STAIR, GUARDS AND HANDRAILS TO REMAIN, TYP. U.O.N.
- (A-107) (E) RAMP, LANDINGS, GUARDS AND HANDRAILS TO REMAIN, TYP.
- (A-108) (E) GUARDRAILS AND HANDRAIL TO BE MODIFIED PER NEW LAYOUT.
- (A-109) A PORTION OF (E) DECK TO BE REMOVED TO PROVIDE NEW STAIR.
- (A-110) (E) STAIR AND HANDRAILS TO BE REMOVED.
- (A-111) MODIFY (E) TRAMPOLINE AREA TO BE EXTENDED INTO THE EXPANSION SPACE. G.C. TO COORD. W/ TENANT'S EQUIP. VENDOR
- (A-112) (E) PARTIAL HT. WALLS TO BE REMOVED, TYP. SHOWN IN RED.
- (A-113) (E) MILLWORK AND SINK TO BE REMOVED. CAP ALL SERVICES AS REQ'D
- (A-114) (E) FURRED WALLS AND WATER STUB-OUT TO BE REMOVED, TYP.
- (A-115) (E) DRINKING FOUNTAIN TO BE REMOVED.
- (A-116) (E) WATER HEATER TO BE REMOVED.
- (A-117) (E) PLUMBING FIXTURES, TOILET PARTITIONS, COUNTERTOPS, TOILET ACCESSORIES AND FINISHES TO BE REMOVED, TYP.
- (A-118) (E) T-BAR CEILING GRID AND TILE AND GYP. BD. CEILING TO BE REMOVED THROUGHOUT THE AREA OF WORK, TYP.
- (A-119) (E) FLOORING AND WALL BASE TO BE REMOVED, TYP. REMOVE FASTENERS AND OTHER APPENDAGES FROM FLOOR WHERE DEMOLITION HAS OCCURRED OR EQUIPMENT HAS BEEN REMOVED. FILL AS NECESSARY TO PROVIDE SUITABLE SURFACE.



DEMOLITION PLAN

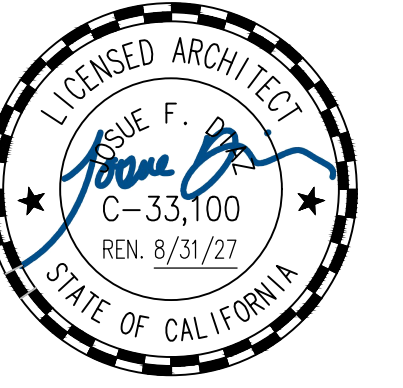
SCALE: 1/8" = 1'-0"



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PROJECT:
GET AIR TRAMPOLINE PARK
1350 W MAIN STREET,
TURLOCK, CA 95380
SHEET TITLE:
DEMOLITION PLAN

REVISION DATE	DESCRIPTION
10/24/25	PRELIMINARY PLANS FOR TENANTS REVIEW
10/28/25	BACKGROUNDS SENT TO ADI
12/09/25	PERMIT SUBMITTAL SET

JOB NO. 25022
DRAWN BY: MK

SHEET NO.

A-101

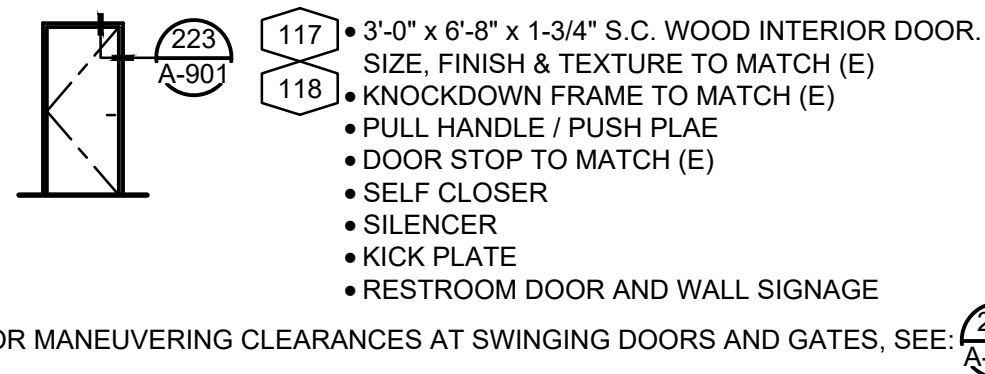
DOOR NOTES

- NEW DOORS:**
- CONTRACTOR TO VERIFY THAT NEW SPECIFIED DOORS TO MATCH EXISTING WITHIN SUITE OR BUILDING STANDARD IN MANUFACTURER & FINISH.
- HARDWARE NOTES:**
- ALL DOORS TO BE LEVER ACTIVATED AS TO COMPLY CBC 11B-309.
 - ALL HARDWARE AND LOCKING MECHANISMS TO COMPLY WITH TITLE 24 AND CBC 11B-404.2.7. IF EXISTING DOES NOT COMPLY, ALTER OR PROVIDE NEW FOR COMPLIANCE.
 - KEY ALL LOCKSETS (NEW & EXISTING) AS DIRECTED BY TENANT AND AS APPROVED BY OWNER.
 - HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 AND 44 INCHES ABOVE FINISH FLOOR OR GROUND PER CBC 11B-404.2.7.
 - PROVIDE TWO PAIR BUTTS PER DOOR LEAF FOR 8'-0" HIGH DOORS & TALLER 1 1/2 PAIR BUTTS PER DOOR FOR 7'-0" HIGH DOORS.
 - IF DOOR SCHEDULE CALL FOR DOOR CLOSER, THE DOOR SHALL COMPLY WITH CBC 11B-404.2.8. DOOR CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM LATCH IS 5 SECONDS MIN.
 - ALL DOOR STOPS SHALL BE FLOOR MOUNTED AND NO FURTHER THAN 4" MAXIMUM FROM WALLS.
 - WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY, DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR PER CBC 11B-404.2.10.

- DOOR SIGNAGE:**
- PROVIDE SIGNAGE AT ALL REQUIRED LOCATIONS PER CBC 11B-703.4.2.
- DOOR THRESHOLD:**
- IF DOOR SCHEDULE CALLS OUT FOR NEW OR RELOCATED EXTERIOR DOORS, PROVIDE METAL THRESHOLDS & WEATHER STRIPPING.
 - ALL NON-COMPLIANT THRESHOLDS ARE TO BE REPLACED WITH NEW THRESHOLDS IN COMPLIANCE WITH CBC 11B-404.2.5. THRESHOLDS SHALL BE NO GREATER THAN 1/2" HIGH.

- TITLE 24:**
- MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR INTERIOR & EXTERIOR DOORS AND 15 POUNDS FOR FIRE RATED DOORS. ADJUST EXISTING DOORS AS NECESSARY TO COMPLY W/ CBC 11B-404.2.9.
 - EXIT DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

DOOR SCHEDULE



FOR MANEUVERING CLEARANCES AT SWINGING DOORS AND GATES, SEE 223A-301

ELECTRICAL LEGEND

- SEE ELECTRICAL DRAWINGS FOR ALL ELECT & DATA/VOICE RECEPTACLES GENERAL CONTRACTOR'S ELECTRICAL SUB TO PROVIDE ELECTRICAL DRAWINGS FOR COMPLIANCE WITH THE CURRENT T-24 REQUIREMENTS.
- AS REQUIRED BY CBC 11B-308, ALL ELECTRICAL RECEPTACLES OUTLETS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NO LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISH FLOOR.
- ELECTRICAL CONTRACTOR TO VERIFY THE ELECTRICAL OUTLET ELEVATIONS FOR NEW EQUIPMENT/FURNITURE WITH TENANT PRIOR TO INSTALLATION.

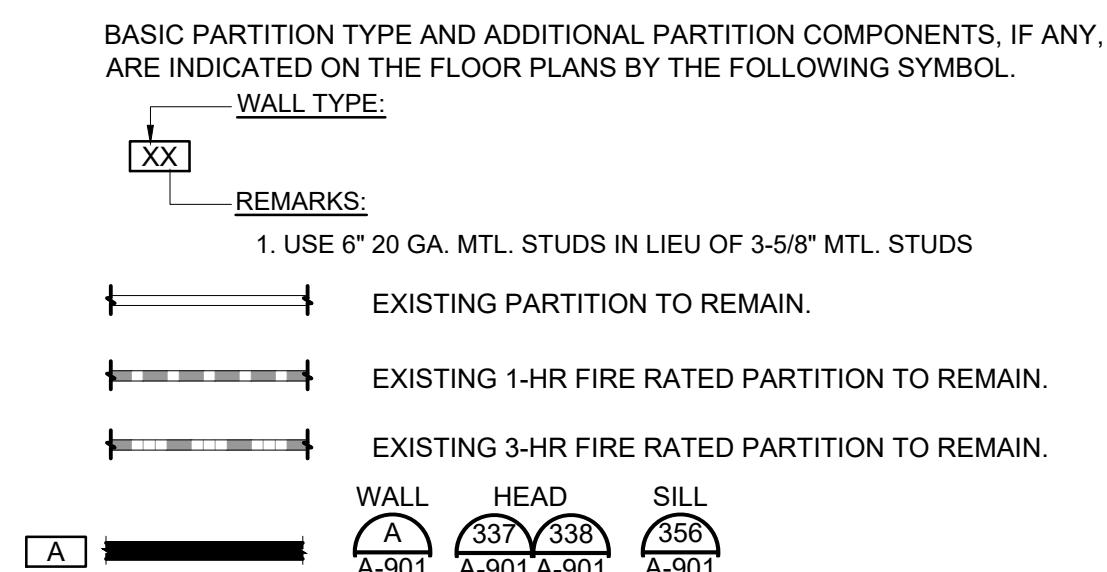
SYMBOL LEGEND

- XXX DOOR NUMBER: SEE 'DOOR SCHEDULE' ON THIS SHEET
- XXX KEYED NOTE: SEE 'KEY NOTES' ON THIS SHEET

KEY NOTES

- (E) STRUCT. COLUMNS AND ANY AVAILABLE POWER CIRCUITS ON THE COLUMNS TO REMAIN. TYP. THROUGHOUT AREA OF WORK.
- (E) WATER HEATER TO REMAIN. SEE PLUMB. DWGS.
- (E) MOP SINK TO REMAIN. SEE PLUMB. DWGS.
- (E) STAIR, GUARDS AND HANDRAILS TO REMAIN. TYP. U.O.N.
- (E) RAMP, LANDINGS, GUARDS AND HANDRAILS TO REMAIN. TYP.
- (E) HANDRAIL TO BE MODIFIED PER NEW GUARDRAIL CONFIGURATION
- PROVIDE 42" GUARDRAILS AT DECK WHERE SAFETY NETS ARE NOT PROVIDED ALONG EQUIP. PERIMETERS, TO PREVENT FALL HAZARDS.
- MOVABLE CHAIRS AND DINING SURFACE (28" MIN. & 34" MAX.) TO COMPLY W/ 11B-902.3, SHOWN DASHED. TYP. TABLE SHOWN WITH WHEELCHAIR SEATING SYMBOL, TO COMPLY WITH CBC 11B-305 AND 11B-306.
- VENDOR EQUIPMENT, SHOWN IN DASH DOT-DOT LINE FOR REFERENCE ONLY. PLAN AND SCHEDULES SUPPLIED BY OTHERS UNDER A SEPARATE PERMIT. TYP.
- PROVIDE NEW STAIRS. STAIRS TO HAVE VISIBILITY STRIPING AT NOSING OF TOP AND BOTTOM RISER. PROVIDE HANDRAILS ON BOTH SIDES OF STAIRS AND LANDING.
- (E) DECK/PLATFORM TO BE EXTENDED. WIDTH AND HEIGHT TO MATCH (E) ADJACENT UNDISTURBED DECK.
- (E) POS COUNTER TO REMAIN. MIN. 36" WIDE AND +34" MAX. HIGH.

WALL LEGEND



- PROVIDE MARKING AND IDENTIFICATION OF FIRE ASSEMBLIES, TO FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, FIRE BARRIERS AND SMOKE PARTITIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
- BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES.
 - BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET.
 - INCLUDE LETTERING NOT LESS THAN 3/16" INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE INCORPORATING THE SUGGESTED WORDING. "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS".

- NEW INTERIOR WALL FURRING:
3-5/8" x 20 GA. METAL STUDS @ 24" O.C. FROM FLOOR SLAB TO 6" ABOVE FINISHED CEILING W/ 5/8" TYPE 'X' GYP. BD. @ ROOM SIDE.
PROVIDE WATER RESISTANT GYP. BD. AT ALL WET LOCATIONS.

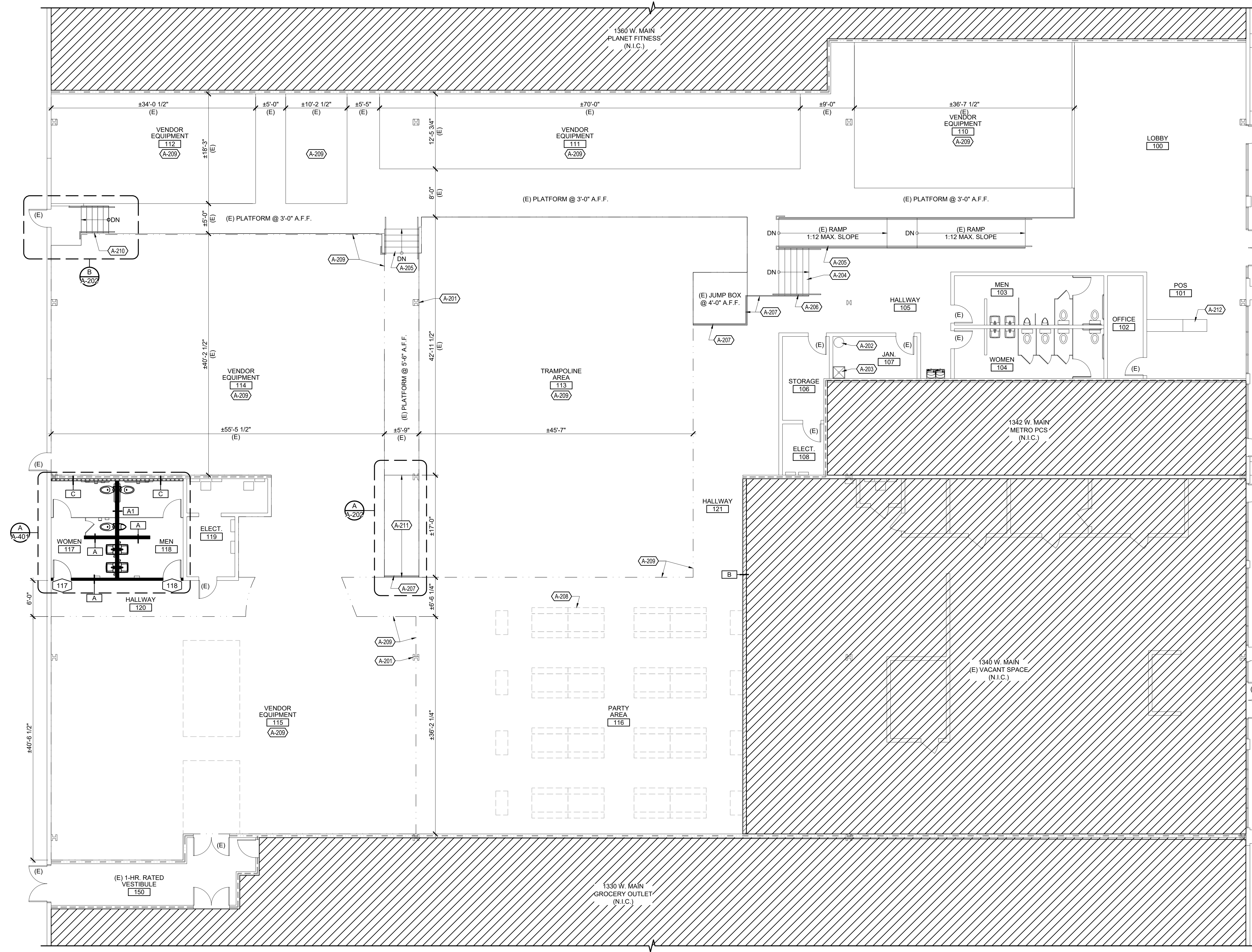
MAXIMUM HEIGHT FOR METAL STUDS WITH DEFLECTION LIMIT L/240 & SUBJECT TO A 5 PSF LOAD - BASED ON SSMA CATALOG FOR "INTERIOR WALL HEIGHTS - COMPOSITE"				TOP TRACK & BOTTOM TRACK TO USE WITH STUD WALLS	
STUD SIZE (ALL 3KSI)	MAX. HEIGHT IF @ 24" OC.	MAX. HEIGHT IF @ 16" OC.	AT ALL LOCATIONS U.O.N.	WHERE SLOTTED TRACK IS CALLED OUT ON DETAILS	
362S125-30	14'-6"	10'-7"	362T125-30	362SL1250-30EQD	
362S125-33	15'-3"	11'-5"	362T125-33	362SL1250-33	
600S125-30	21'-4"	14'-7"	600T125-30	600SL125-30EQD	
600S125-33	22'-3"	15'-6"	600T125-33	600SL125-33	

MAXIMUM HEIGHT FOR METAL STUDS WITH DEFLECTION LIMIT L/240 & SUBJECT TO A 5 PSF LOAD - BASED ON SSMA CATALOG FOR "CURTAIN WALL LIMITING HEIGHTS - SINGLE SPAN"				TOP TRACK & BOTTOM TRACK TO USE WITH STUD WALLS	
STUD SIZE (ALL 3KSI)	MAX. HEIGHT IF @ 24" OC.	MAX. HEIGHT IF @ 16" OC.	AT ALL LOCATIONS U.O.N.	WHERE SLOTTED TRACK IS CALLED OUT ON DETAILS	
800S162-43	31'-1"	35'-6"	800T150-43	800SL1250-43	
800S200-43	32'-4"	37'-4"	800T150-43	800SL1250-43	
800S200-54	35'-1"	40'-2"	800T150-54	800SL1250-54	
800S162-87	39'-11"	45'-9"	800T150-87	800SL1250-87	

- NOTES:**
- ALLOWABLE COMPOSITE LIMITING HEIGHTS ARE CALCULATED USING ICC-ES AC208-2012.
 - STUD END BEARING MUST BE A MINIMUM OF 1 INCH.
 - COMPOSITE LIMITING HEIGHTS ARE BASED ON A SINGLE LAYER OF 5/8" TYPE 'X' GYP. BD. INSTALLED IN THE VERTICAL ORIENTATION TO BOTH SIDES OF THE WALL OVER FULL HEIGHT USING MIN. #6 TYPE 'S' DRYWALL SCREWS SPACED A MAXIMUM OF 12" O.C. FOR STUDS AT 24" SPACING, AND 16" O.C. FOR STUDS AT 16" AND 12" SPACING.
 - SSMA STRUCTURAL AND NONSTRUCTURAL COLD-FORMED FRAMING PRODUCT SPECIFICATIONS MEET THE STRINGENT REQUIREMENTS OF INTERNATIONAL CODE COUNCIL EVALUATION SERVICES IN CONJUNCTION WITH SSMA ICC-ES EVALUATION REPORT (ESR-3064F).

GENERAL NOTES

- THE CONTRACTOR SHALL EXAMINE, READ AND BECOME FAMILIAR WITH ALL THE CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES IN OR OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- DESIGN AND PERMIT DRAWINGS SHALL BE THE RESPONSIBILITY OF THE DESIGN BUILD ENGINEERS AND ALL DESIGN BUILD CONTRACTORS MUST SURVEY THE PROJECT SITE PRIOR TO START OF DESIGN WORK. ALL WORK SHALL BE IN STRICT CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS FOR THEIR PORTION OF WORK.
- NOTIFY AND OBTAIN APPROVAL OF BUILDING MANAGEMENT OF ANY TEMPORARY STOPPAGE OF BUILDING UTILITIES, SERVICES AND/OR ALARM MONITORING SYSTEM.
- INFORMATION GIVEN HEREIN AND ON THE DRAWINGS WAS OBTAINED FROM DATA AVAILABLE TO THE ARCHITECT AT THE TIME OF DESIGN, BUT ACCURACY CANNOT BE GUARANTEED. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL CONDITIONS AT THE SITE AND SHALL BE FIELD CHECKED BY THE CONTRACTOR.
- OBTAIN THE TENANT'S APPROVAL OF WALL CHALK LINES PRIOR TO INSTALLATION OF BASE TRACKS.
- OBTAIN THE TENANT'S APPROVAL OF ELECTRICAL AND DATA OUTLET LOCATION CHALK LINES PRIOR TO INSTALLATION. SEE ELECTRICAL DRAWINGS.
- PROVIDE ALL DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND SCOPE OF WORK.
- PATCH, REPAIR AND/OR REPLACE EXISTING CONSTRUCTION IN AREA OF WORK, AS REQUIRED FOR A FINISHED APPEARANCE AND/OR TO MAINTAIN SECURITY.
- THE FOLLOWING DIMENSION RULES APPLY, UNLESS OTHERWISE NOTED:
 - HORIZONTAL DIMENSIONS ARE FROM FINISH FACE OF FINISHED SURFACE TO FACE OF FINISHED SURFACE
 - DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE PRECISELY MAINTAINED
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED WITH "A"
 - DIMENSIONS TO THE EXTERIOR OF THE BUILDING ARE TO THE INSIDE FACE OF EXTERIOR WALL, U.O.N.
 - DIMENSIONS LOCATING DOORS ARE 4 INCHES TO INSIDE EDGE OF JAMBS, UNLESS OTHERWISE NOTED.
 - VERTICAL DIMENSIONS ARE FROM THE TOP OF FINISHED FLOOR
 - DIMENSIONS MARKED "VERIFY" OR "VERIFY IN FIELD" OR "V.I.F." SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - DO NOT SCALE DRAWINGS. IF ANY WORK CANNOT BE LOCATED, DISCUSS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- ALL NEW FINISHES ARE TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION. WHERE NEW GYPSUM BOARD MEETS THE SIDE OF EXISTING PLASTER, REMOVE THE METAL CORNERBEAD, ALIGN THE PARTITION STUD TO ALLOW GYPSUM BOARD TO FLUSH OUT WITH EXISTING FINISH.
- STUD GAUGE AND SIZE INDICATED ARE MINIMUM STANDARDS. IF STRUCTURAL DRAWINGS ARE PROVIDED, CONTRACTOR SHALL SELECT STUD SIZE AND GAUGE PER STRUCTURAL. IN NO EVENT SHALL STUD SIZE, GAUGE AND SPACING FALL BELOW MINIMUM REQUIREMENTS NOTED UNLESS OTHERWISE INDICATED.
- ALL FLOORS SHALL BE LEVEL AND CLEAN PRIOR TO START OF WALL ERECTION, PATCH, REPAIR AND/OR REPLACE AS REQUIRED.
- PROVIDE NEW FLOORING, BASE, AND PAINT THROUGHOUT THE AREA OF WORK AS NOTED ON PLANS.
- INTERIOR WALL AND CEILING FINISH MATERIALS FOR ROOMS AND ENCLOSED SPACES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE CLASS C WITH FRAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450.

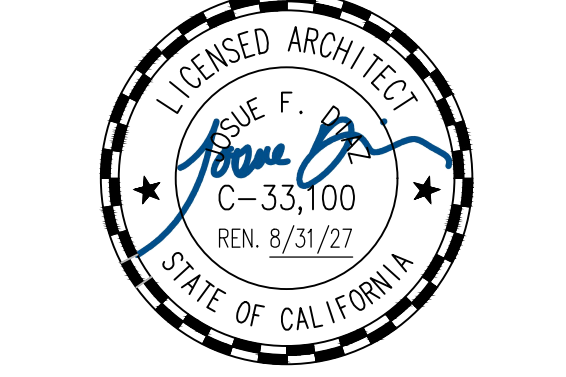


FLOOR PLAN

SCALE: 1/8" = 1'-0"



JOSUE F. DIAZ C33100
MIZUKI KAWAGUCHI C37447



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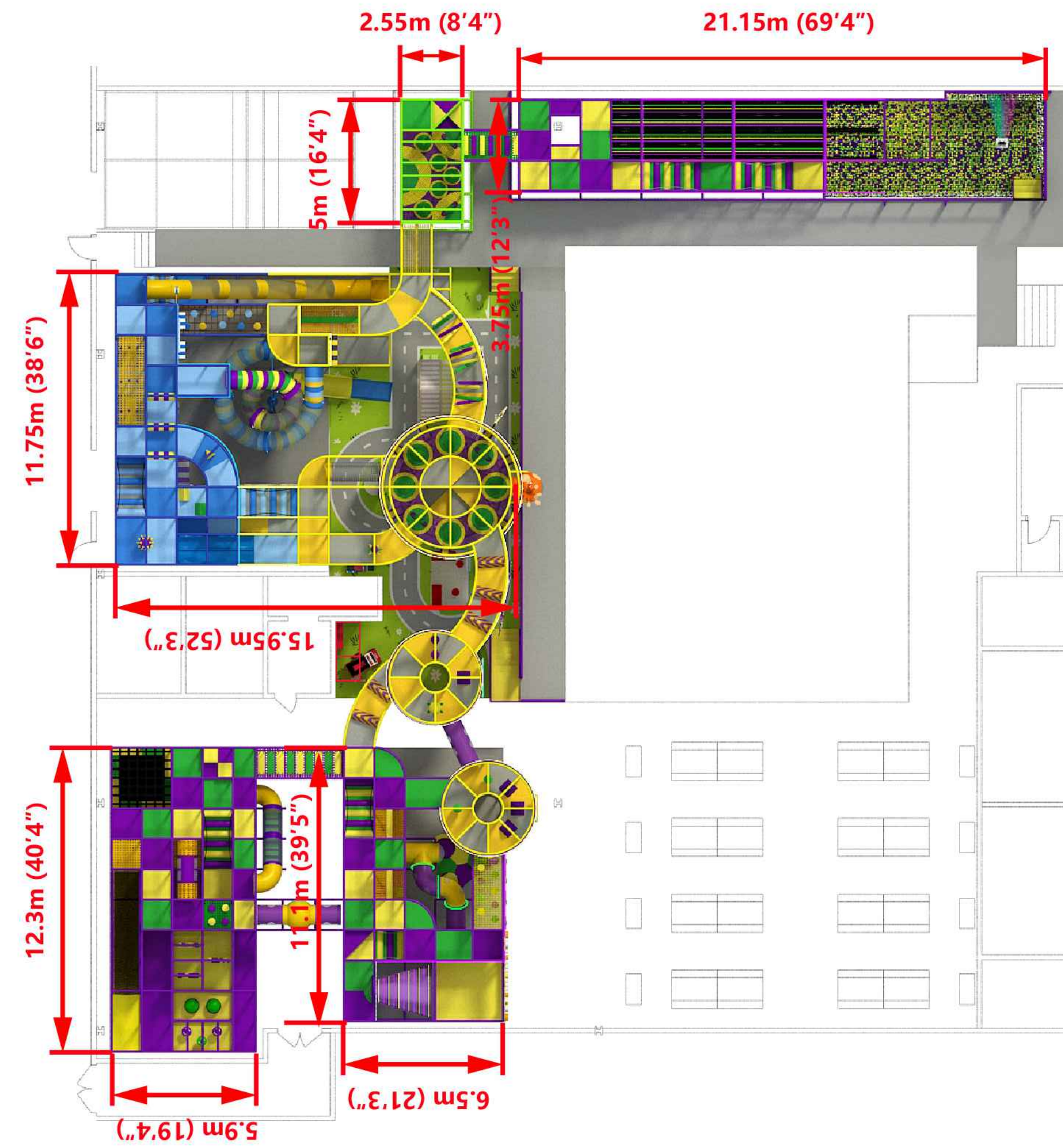
PROJECT:
GET AIR TRAMPOLINE PARK
1350 W MAIN STREET,
TURLOCK, CA 95380
SHEET TITLE:
FLOOR PLAN

REVISION	DATE	DESCRIPTION
02/24/25	02/24/25	PRELIMINARY PLANS FOR TENANTS REVIEW
02/25/25	02/25/25	BACKGROUNDS SENT TO A/E
12/29/25	12/29/25	PERMIT SUBMITTAL SET

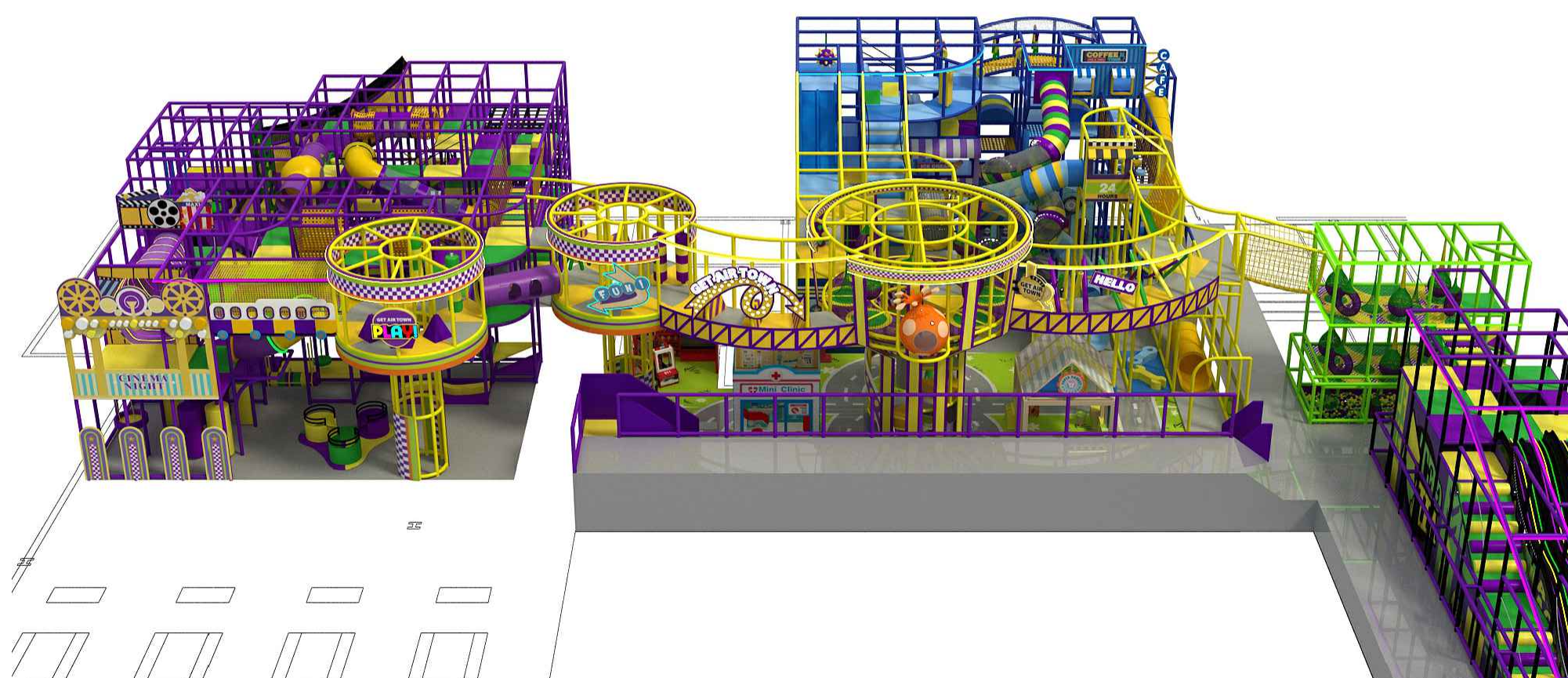
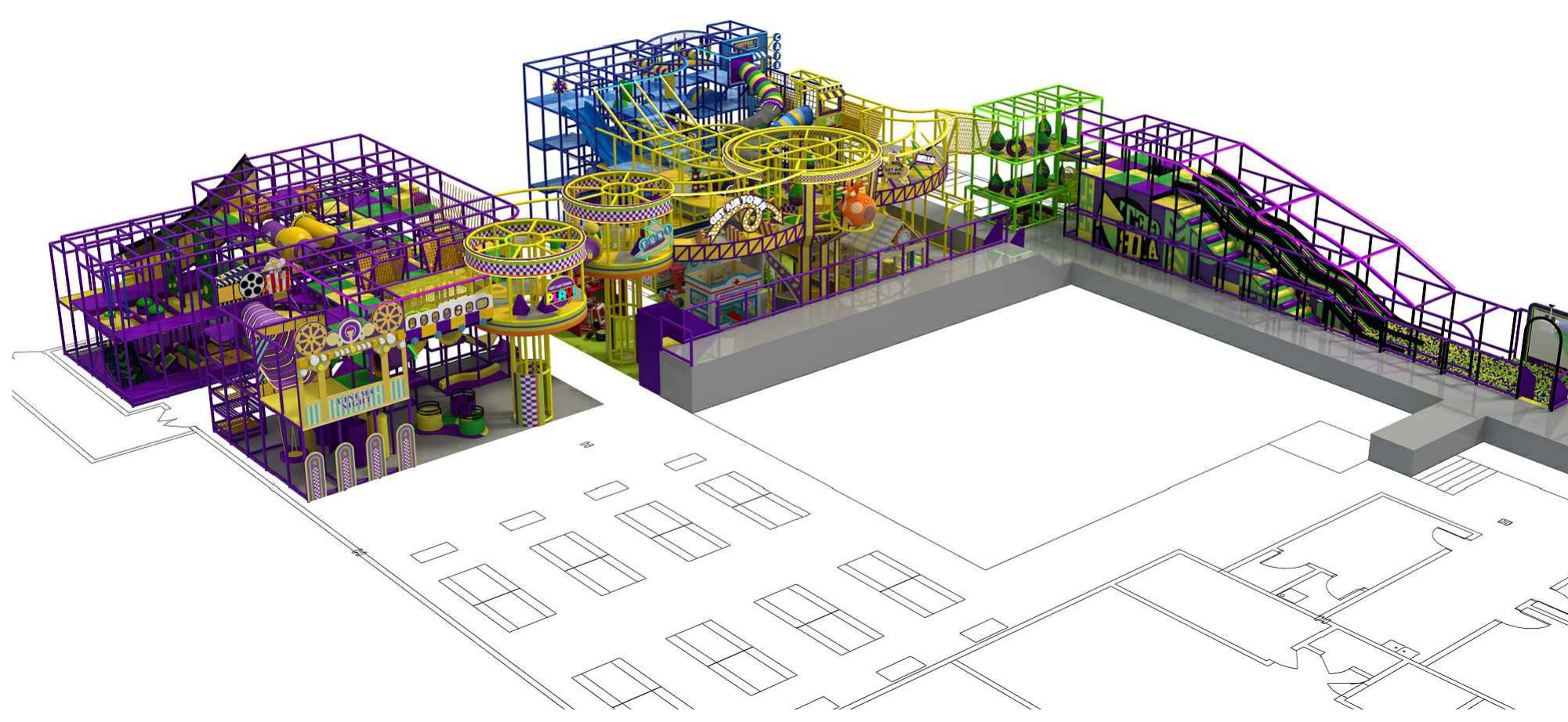
JOB NO. 25022
DRAWN BY: MK

SHEET NO.
A-201

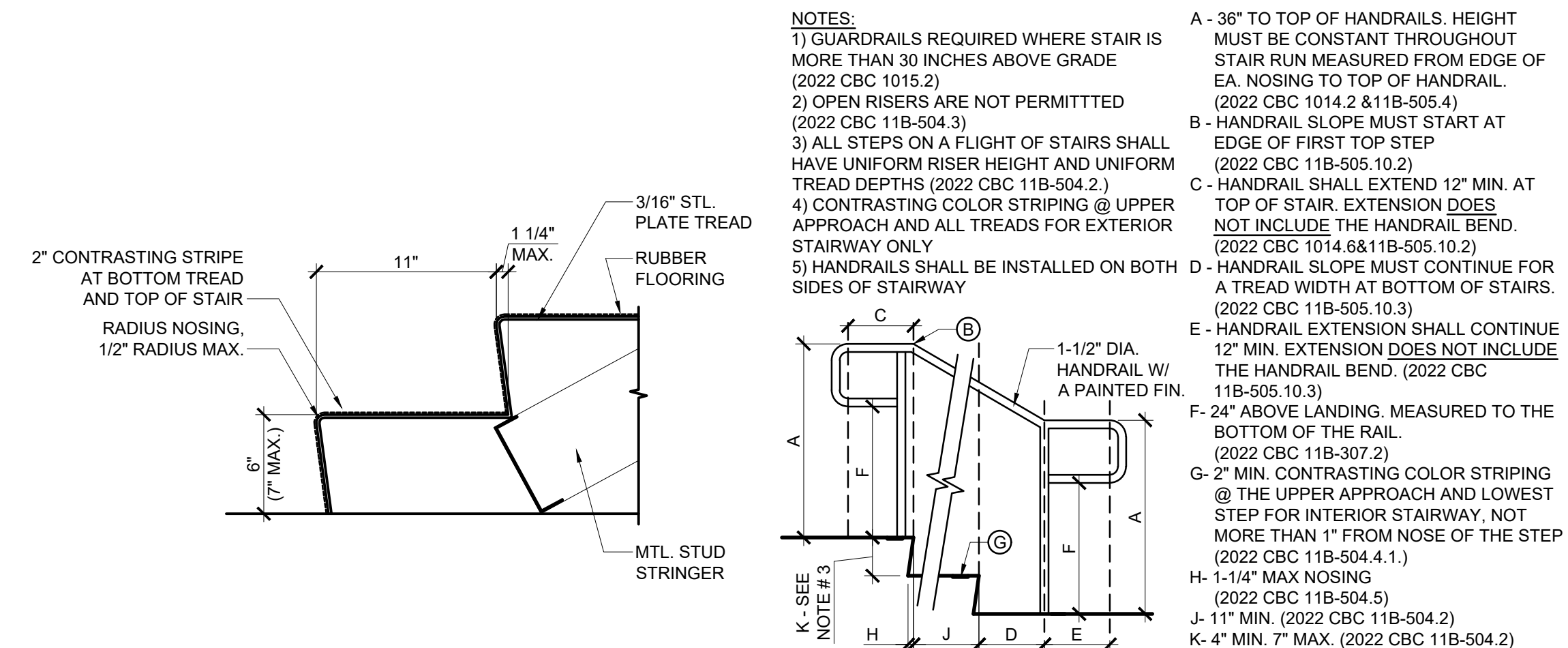
NOTE:
VENDOR EQUIPMENT, SHOWN FOR REFERENCE ONLY. A SEPARATE PACKAGE WILL BE SUBMITTED BY OTHERS FOR DESIGN, PERMITTING, MATERIALS AND INSTALLATION.



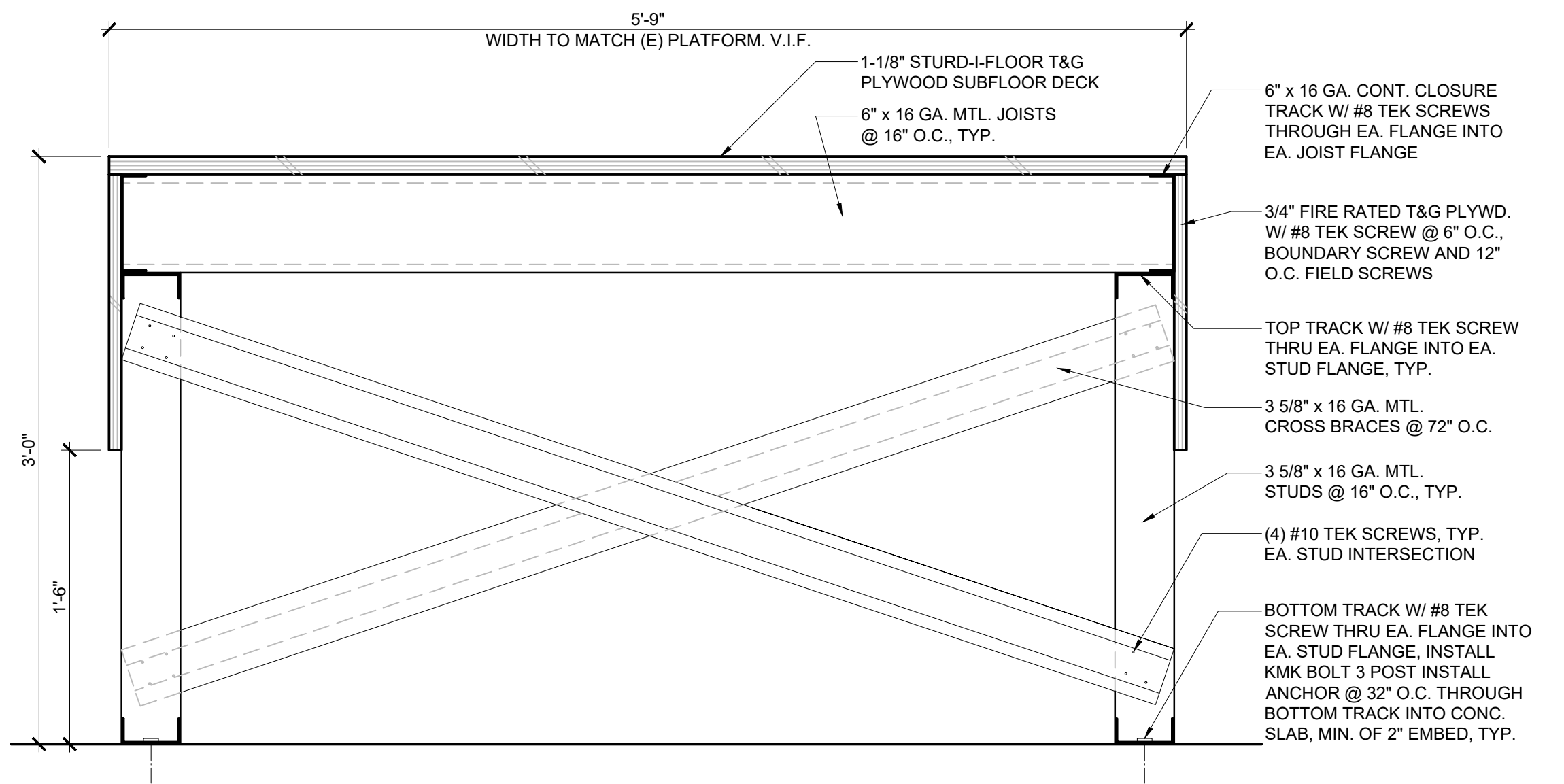
5 SOFT PLAY STRUCTURE -FOR REFERENCE ONLY-
SCALE: N.T.S.



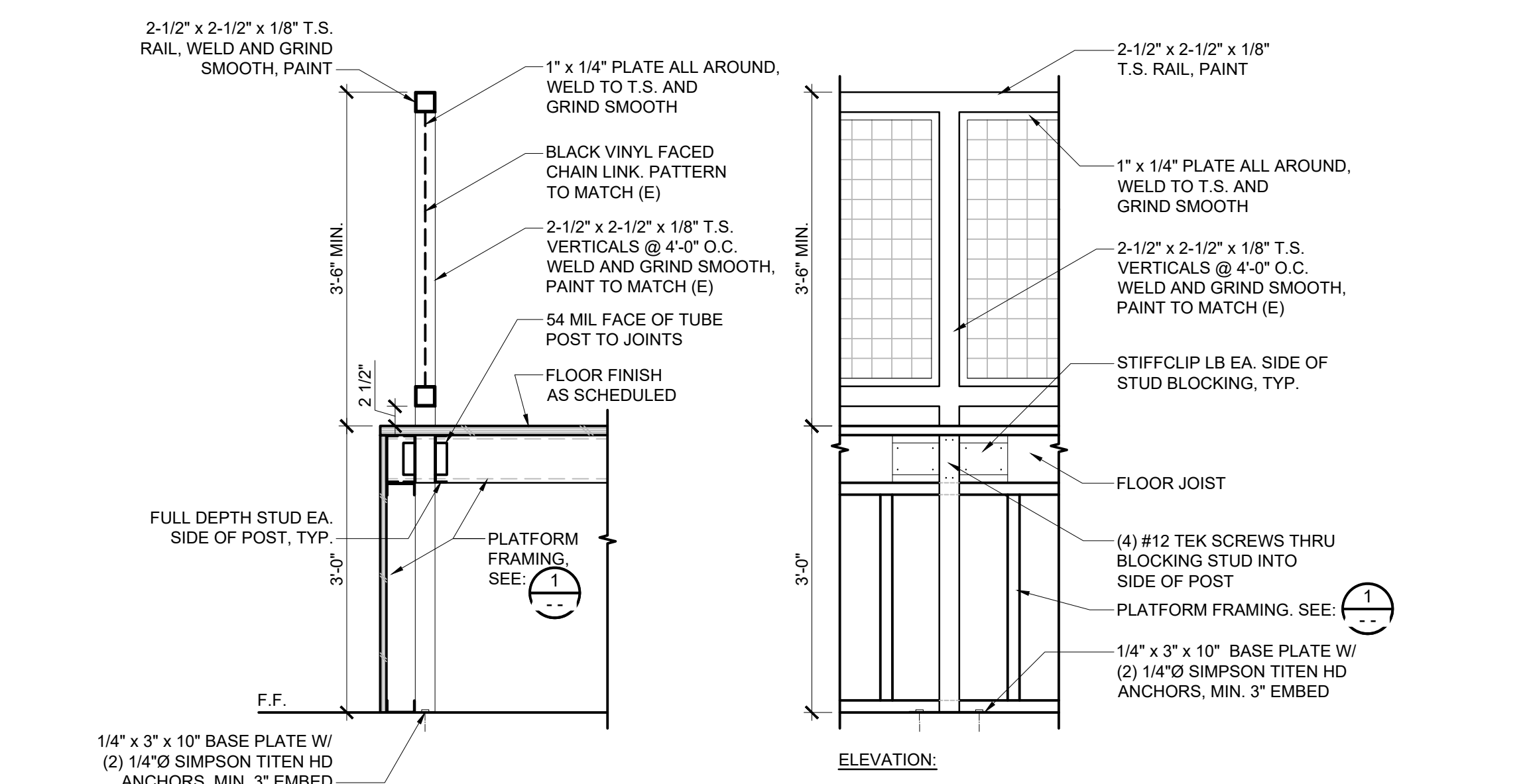
6 SOFT PLAY STRUCTURE -FOR REFERENCE ONLY-
SCALE: N.T.S.



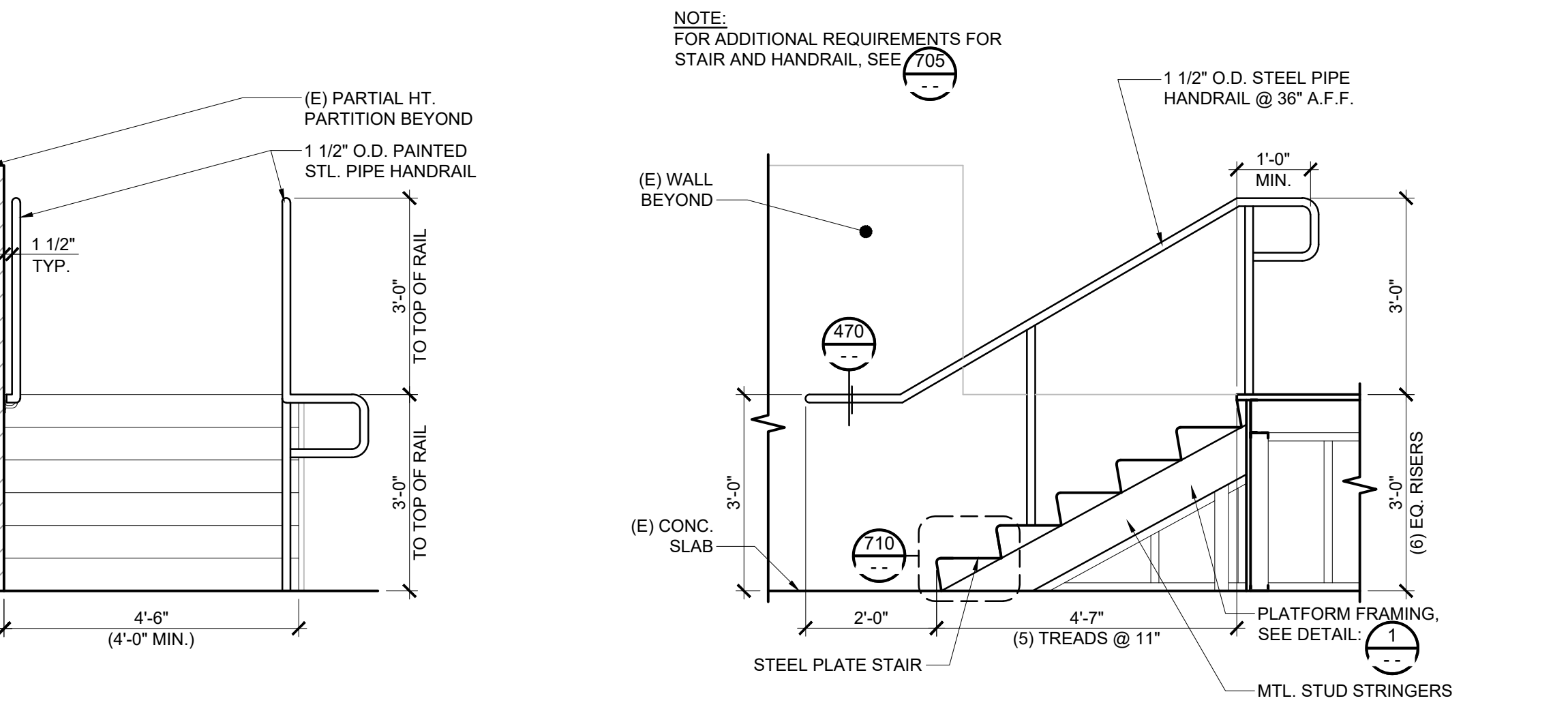
710 STAIR SCALE: 1 1/2" = 1'-0"
705 STAIR REQUIREMENTS SCALE: 1/2" = 1'-0"
470 HANDRAIL SECTION SCALE: 3" = 1'-0"



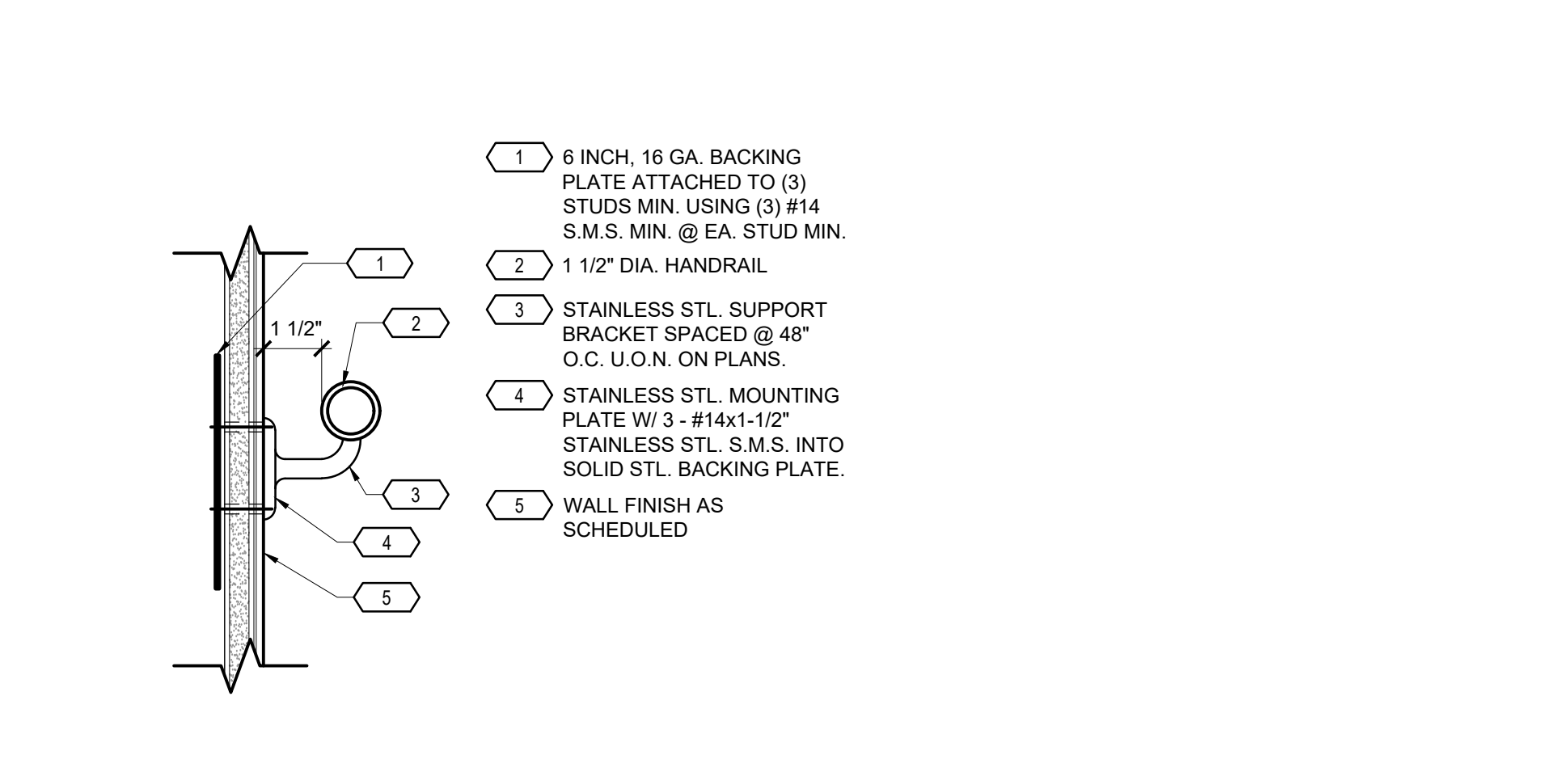
1 PLATFORM SECTION
SCALE: 1-1/2" = 1'-0"



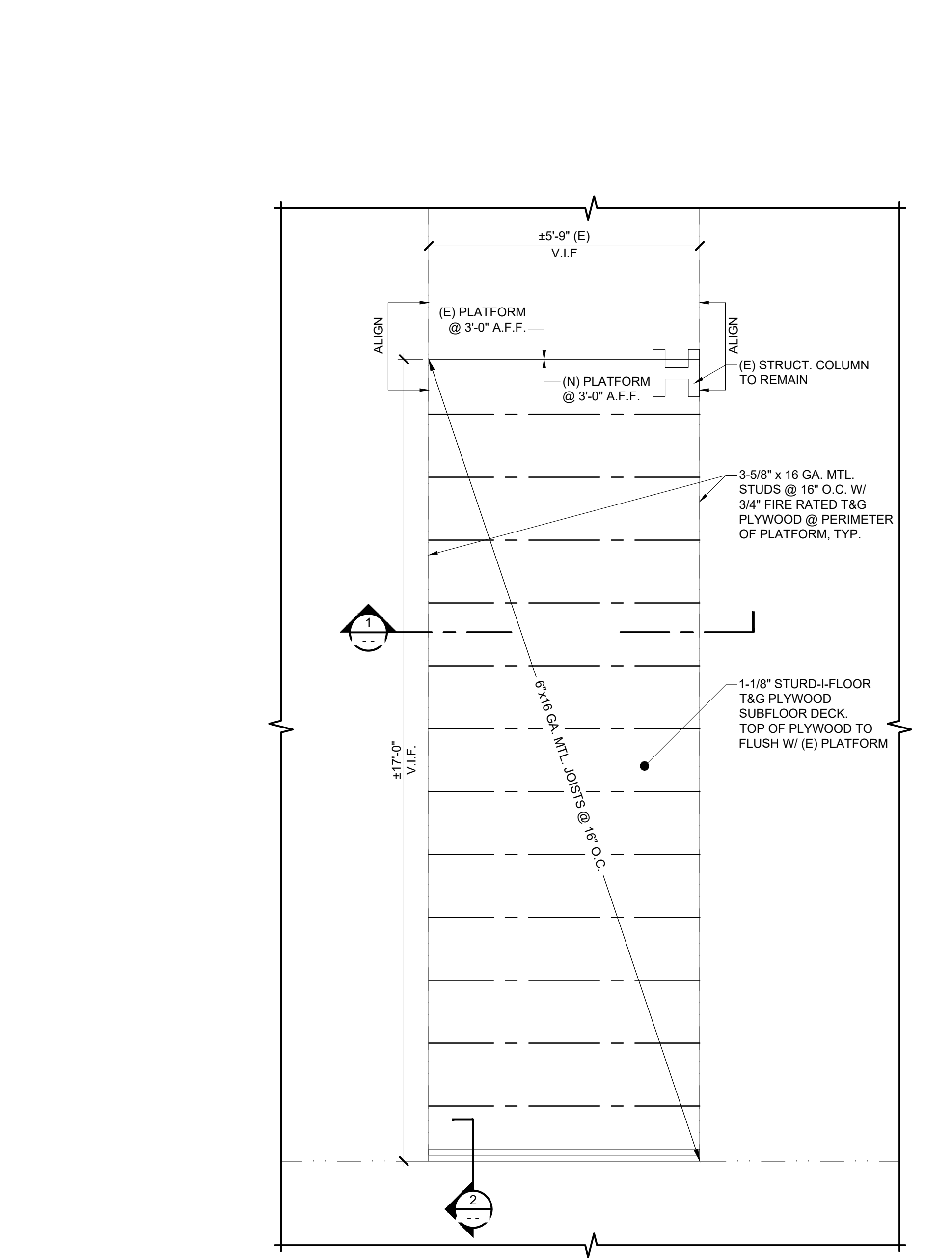
2 GUARDRAIL
SCALE: 3/4" = 1'-0"



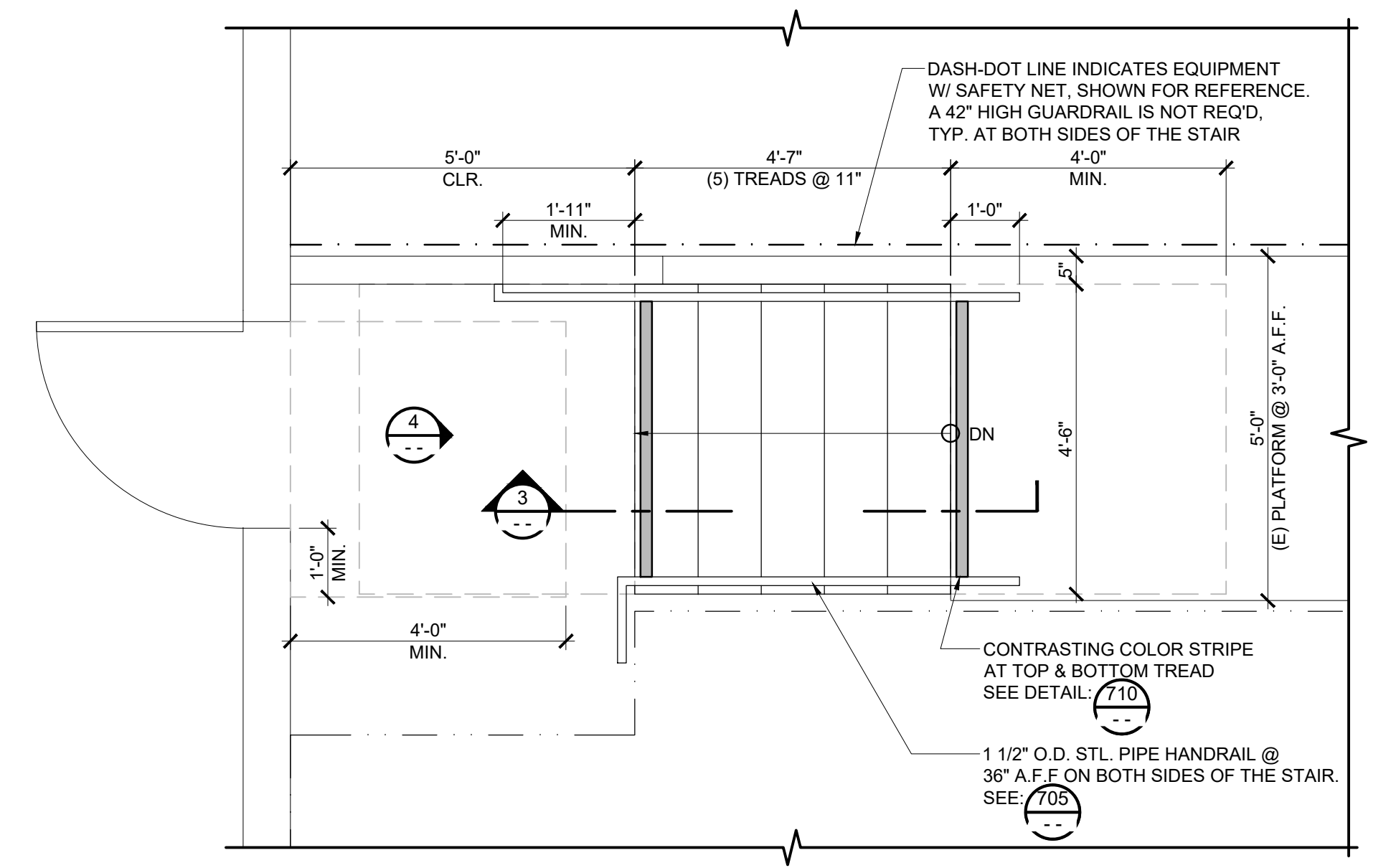
4 STAIR ELEVATION SCALE: 1/2" = 1'-0"
3 STAIR SECTION SCALE: 1/2" = 1'-0"



470 HANDRAIL SECTION SCALE: 3" = 1'-0"



A PLATFORM PLAN
SCALE: 1/2" = 1'-0"



B STAIR PLAN
SCALE: 1/2" = 1'-0"

Filing Requested By:

City of Turlock
Development Services Department
Planning Division
156 S. Broadway, Suite 120
Turlock, CA 95380-5454

When Filed Mail To:
Same as above

SPACE ABOVE THIS LINE FOR CLERK'S USE ONLY

**DRAFT
RESOLUTION NO. 2026-04**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF TURLOCK
APPROVING AMENDMENT TO CONDITIONAL USE PERMIT 2016-08
(Get Air Trampoline Park Expansion)**

PROPERTY OWNER: Main Street Turlock LLC
3026 Indian Springs Road
Paradise, CA 95969

APPLICANT: Allison Development Inc./John Allison
4046 Aitken Dairy Road
Rocklin, CA 95677

SITE ADDRESS: 1350 W. Main Street and a portion of 1340 W. Main Street

APN: 050-001-034

WHEREAS, Allison Development Inc. has applied to amend Conditional Use Permit 2016-08 on behalf of Get Air to expand the existing 12,102 square foot trampoline park into 6,935 square feet of the adjacent 12,000 square foot suite located at 1340 West Main Street; and

WHEREAS, the expansion would accommodate approximately 2,320 square feet of seating for a party area and the remaining area would be used for new play equipment; and

WHEREAS, the property affected by this Resolution is described as follows: 1350 and a portion of 1340 West Main Street, more particularly described as Stanislaus County APN 050-001-034; and,

WHEREAS, the property is zoned Community Commercial (CC) with a Community Commercial (CC) General Plan land use designation; and

WHEREAS, commercial recreation/entertainment uses require a Conditional Use Permit in the Community Commercial (CC) zoning district; and

WHEREAS, the project involves only minor changes to the interior of an existing building as required by Section 15301(a) (Existing Facilities) of the CEQA Guidelines; and

WHEREAS, a duly noticed public hearing was held on March 5, 2026, at which time the Planning Commission considered the staff report and public testimony on the project.

NOW THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Turlock, having considered the public testimony and comments received on the project, finds and determines as follows:

Section 1. That the project is categorically exempt from the provisions of CEQA pursuant to Section 15031(a) (Existing Facilities) of the CEQA Guidelines.

Section 2. That all of the following findings can be made for the amendment to Conditional Use Permit 2016-08 (Get Air Trampoline Park):

- (1) The proposal is consistent with the Turlock General Plan, the zoning ordinance and all other adopted plans for the site;
- (2) The proposal is in harmony with the existing or proposed development in the general area or neighborhood and will be compatible with adjacent structures and uses, including those on adjoining properties;
- (3) The proposal is consistent with the development plan, terms, conditions, and/or intent of any planned development or conditional use permit currently in effect on the property;
- (4) Any structural elements contained within the proposal are of high quality design consistent with the intent of the City Design Element of the Turlock General Plan and the exterior design, appearance, materials, and colors will not cause the nature of the neighborhood to materially depreciate; and
- (5) The proposal will not otherwise constitute a nuisance or be detrimental to the public safety, health, and welfare of the neighborhood and community.

Planning Division (668-5640)

1. This approval authorizes the 6,935 square foot expansion of the existing Get Air located at 1350 West Main Street into a portion of the adjacent 12,000 square foot suite at 1340 West Main. The additional 6,935 square foot area would be added to the space by removing the wall between the existing Get Air suite and the existing vacant, 12,000 square foot adjacent suite located at 1340 West Main Street. The expansion area would consist of approximately 2,320 square feet of party area and the remaining area is proposed to accommodate new play equipment.
2. All "Standard Conditions of Approval" contained in Turlock Planning Commission Resolution 91-54 and Conditional Use Permit 2016-08 are hereby made conditions of approval and are incorporated herein by reference.
3. The project shall be subject to the development and design standards applicable to the Community Commercial (CC) zoning district and the Westside Industrial Specific Plan.
4. Pursuant to Turlock Municipal Code (TMC) §9-5-107, this approval shall expire one (1) year from the date of approval, if the use has not commenced. If requested prior to the

date of expiration, a time extension may be filed with the Turlock Planning Division to extend this deadline.

5. The property owner agrees, as a condition of this permit, to defend at his sole expense, any action brought against the City arising from the approval of this permit. The property owner shall reimburse the City for any court costs and legal fees. The City may, at its sole discretion, participate in the defense of any such action; such participation shall not relieve the applicant of his obligation under this condition.
6. In the event the City determines that it is necessary to take legal action to enforce any of the provisions of these conditions, and such legal action is taken, the applicant shall be required to pay any and all costs of such legal action, including reasonable attorney's fees, incurred by the City, even if the matter is not prosecuted to a final judgment or is amicably resolved, unless the City should otherwise agree with applicant to waive said fees or any part thereof. The foregoing shall not apply if the permittee prevails on every issue in the enforcement proceeding.
7. The property owner and operator shall comply with all applicable local, State and federal laws and regulations at all times.
8. The project shall comply with all sections of TMC §9-2-300ART: *Noise Standards*.
9. No exterior wall signs have been approved as part of this permit. All exterior wall signs shall comply with the conditions of approval contained in Conditional Use Permit 2003-12 and any amendment thereto are conditions of approval for this project.
10. Prior to the installation of any exterior wall signs a separate sign permit must be reviewed and approved by the Planning Division.

Building Division (668-5560)

11. A building permit is required for any structure (electrical gates site lighting, etc.) associated with the project.
12. Plans must be submitted electronically. Plans shall be prepared by a licensed California design professional.
13. The project shall comply with the current California Building Codes and the Turlock Municipal Code in effect at the time of building permit application.
14. This is not a plan review. Additional requirements may be applicable upon review of the submitted building permits.
15. Energy compliance documents required. Documents to be part of the plan set. HERS testing will be required.
16. Modification to existing structures will require a permit and an occupancy inspection.
17. Code Analysis is required.
18. Clearly identify which section of the project is required to comply with CBC 11A or 11B.
19. Detail compliance with current CBC Chapter 11.

20. Tenant improvement plans shall be submitted and building permits applied for and issued and completed for the remaining area of 1340 West Main to install restroom facilities and any other code required improvements to the space prior to any occupancy of the area.

Fire Services (668-5580)

21. The project shall comply with the current California Fire Code, National Fire Code (NFPA), California Mechanical Code, and the Turlock Municipal Code in effect at the time of building permit application. THIS IS NOT A PLAN REVIEW. Additional requirements may be applicable upon Fire Dept. review of building plans.
22. Address numerals shall be a *minimum of 6"* tall with $\frac{3}{4}$ " stroke, contrast with background, be clearly visible from the primary roadway and be illuminated either internally or externally between dusk and dawn daily. (TMC §4-3-204(g))
23. Permanent all weather signage shall be installed: (minimum 3" letters/numbers).
- a. MAIN ELECTRICAL DISCONNECT
 - b. MAIN GAS SHUT OFF
 - c. FIRE CONTROL ROOM
 - d. FDC (address numerals)
 - e. ELECTRICAL ROOM
 - f. HVAC units shall be numbered (coordinating with breakers and fire alarm system)
24. A Knox Box key safe may be installed to the right of the main entrance door. Safe shall be securely mounted between 4 and 8 feet above finished grade. Safe may be ordered online at www.knoxbox.com or visiting our office.
25. Fire sprinklers shall be required. Four (4) sets of fire sprinkler plans, architectural plans and calculations shall be submitted by a licensed C-16 fire sprinkler contractor to the Fire Department in accordance with NFPA 13 and City of Turlock Municipal Code.
26. Four (4) sets of fire alarm system plans shall be submitted to the Fire Department by a licensed C-10 fire alarm professional. System shall be U.L. certified and monitored by a U.L. central station for the life of the building. U.L. certificate required at final.
27. Fire extinguishers with a minimum rating of 2-A:10-B:C shall be provided such that no point in the building is further than 75-foot travel distance to an extinguisher. Extinguishers shall be mounted on the wall or in cabinets, such that the top of the extinguisher is no more than four (4) feet above floor level.
28. Electrical disconnect shall be accessible from the exterior of the building or in a secure electrical room that opens directly to the outside. Disconnect or electrical room will be identified with an approved all weather sign.
29. Fire lane requirements shall be met. Fire lanes shall be painted throughout project.

Municipal Services (668-5590)

30. Prior to issuance of a building permit, water and sewer utilities shall be reviewed and approved by Municipal Services.

Section 3. That said Conditional Use Permit Amendment is hereby granted subject to compliance with all applicable codes and ordinances, and subject to the terms and conditions set forth herein. All conditions listed above shall be complied with prior to the issuance of the building permit, or equivalent, unless otherwise stipulated.

Section 4. The Director of Development Services, or designee, is hereby directed to record this Resolution at the office of the County Recorder of the County of Stanislaus.

I HEREBY CERTIFY that the foregoing Resolution was duly and regularly adopted by the Planning Commission of the City of Turlock at a regular meeting of said Planning Commission held on the 5th day of March, 2026, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

NOT PARTICIPATING:

ATTEST: _____
KATIE QUINTERO
PLANNING MANAGER
SECRETARY OF THE TURLOCK PLANNING COMMISSION
CITY OF TURLOCK

WITNESS: _____
ALEXIA FUENTES
STAFF SERVICE TECHNCIAN
CITY OF TURLOCK